



INDIAN WELLS COUNTRY CLUB COMMUNITY FIRE ACCESS MAINTENANCE DISTRICT (FAMD) NO. 1

BOARD OF DIRECTORS MEETING October 9, 2025 10:00 A.M.

This Meeting will be held In-Person at
The City of Indian Wells City Council Chambers
44950 El Dorado Drive Indian Wells, CA & Via Zoom

<https://us06web.zoom.us/j/89843694765?pwd=CAXqbfETFn6rTVXOxzvpPHurTdjBLQ.1>

Meeting ID: 898 4369 4765

Passcode: 474293



FAMD #1
Fire Access Maintenance District
An Agency of the City of Indian Wells
Indian Wells Country Club Community

BOARD OF DIRECTORS 2024

Director	Term Ends
Name: Kurt Yeager (Chairperson) Phone: (949) 632-6157 Email: ekurty01@gmail.com	February 28, 2029
Name: Margaret "Marge" Barry (Vice Chair) Phone: (760) 219-3100 Email: iwmarge@gmail.com	February 28, 2026
Name: Steve Nozet (Secretary) Phone: (925) 698-4632 Email: nozetsteve@gmail.com	February 28, 2029
Name: Tony Trocino (Director) Phone: (310) 963-3428 Email: trotony7@gmail.com	February 28, 2026
Name: Bruce Morgan (Director) Phone: (406) 370-1224 Email: bkmzenmaster@gmail.com	February 28, 2029
Name: Dennis Coker (IWCC Rep) Phone: (760) 345-2561 Email: Dennis.Coker@clubcorp.com	Appointed (No Term)



FIRE ACCESS MAINTENANCE DISTRICT NO. 1 INDIAN WELLS COUNTRY CLUB COMMUNITY

Board of Directors Meeting Agenda Thursday October 9, 2025 at 10:00 A.M.

**Board will Meet in the City Council Chamber of the
City of Indian Wells at 44950 El Dorado Indian Wells CA & Via Zoom at**

<https://us06web.zoom.us/j/89843694765?pwd=CAxqbFETFn6rTVXOxzvpPHurTdjBLQ.1>

Meeting ID: 898 4369 4765

Passcode: 474293

1. CALL TO ORDER OF THE FAMD, ROLL CALL

Chair - Kurt Yeager
Vice Chair – Margaret “Marge” Barry
Secretary – Steve Nozet
Director - Tony Trocino
Director – Bruce Morgan
IWCC Representative – Dennis Coker

2. PLEDGE OF ALLEGIANCE

3. APPROVAL of the FINAL AGENDA

October 9, 2025

Page(s) 4-5

4. PUBLIC COMMENTS

All persons wishing to address the FAMD Board will be called on during this section of the meeting by the Chairman. At the appropriate time, please come forward to the podium and state your name for the record. Speakers are limited to three minutes. Parties are encouraged to submit their comments in writing with any attachments or exhibits they wish for the FAMD Board to review, preferably 24 hours prior to the meeting. Speakers can then use their three-minutes to summarize the key points of their comments. Please note that you may address the FAMD Board on an agenda item at the time it is discussed, but only after being recognized by the Chairman.

Under the Brown Act, the FAMD Board should not take action on or discuss matters raised during the public comment portion of the agenda which are not listed on the agenda. FAMD Board Members may refer such matters to staff for information or to be placed on a subsequent agenda for consideration. Notwithstanding the foregoing, FAMD Board Members and staff may briefly respond to statements made or questions posed during public comment, if such responses do not constitute any deliberation.

5. CONSENT CALENDAR

All matters listed on the Consent Calendar are routine and will be enacted by one vote. There will be no separate discussion of these items unless members of the FAMD Board or audience request that specific items be removed from the Consent Calendar for separate discussion and action. Financial matters will be indicated as budgeted or non-budgeted below.

- a. Minutes; August 14, 2025
- b. Financials; June 2025
- c. Financials; July 2025
- d. Financials; August 2025
- e. Financials; September 2025

Page(s) 6-9

Page(s) 10

Page(s) 11

Page(s) 12

Page(s) 13



6. SECURITY REPORT

- a. August 2025 Security Report
- b. September 2025 Security Report

Page(s) 14-16

Page(s) 17-19

7. OLD BUSINESS

- a. Security Services Ad Hoc Committee
- b. Street Striping Project
- c. Emergency Access Gates
- d. Iroquois – 25 MHP Street Sign

Page(s) Verbal

Page(s) Pending

Page(s) 20-43

Page(s) 44-45

8. NEW BUSINESS

- a. Supreme Pool Repair Estimates
- b. Security Gate Maintenance Services

Page(s) 46-47

Page(s) Pending

9. FAMD DISTRICT MANAGERS REPORT

- a. Transponders
- b. Recent Rainstorm Drainage
- c. Emergency Access Preemption System
- d. Election Process

10. BOARD MEMBERS COMMENTS

11. ANNOUNCEMENTS

The next Board of Directors meeting is scheduled for November 13, 2025.

12. ADJOURNMENT

**INDIAN WELLS COUNTRY CLUB COMMUNITY
FIRE ACCESS MAINTENANCE DISTRICT NO. 1
BOARD OF DIRECTORS OPEN MEETING**

IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING, PLEASE CONTACT THE SENIOR BUILDING INSPECTOR OR THE RISK MANAGER AT (760) 346-2489. A 48-HOUR NOTIFICATION PRIOR TO THE MEETING WILL ENABLE THE CITY TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING (128 CFR 35.102.35.104 ADA TITLE III).

AFFIDAVIT OF POSTING

I, Angelica Avila, certify that on October 6, 2025, I caused to be posted a notice of a FAMD #1 Board Meeting to be held on Thursday October 9, 2025, at 10:00 A.M., in person in the City Council Chamber's.



SPECIAL BOARD OF DIRECTORS MEETING VIA ZOOM

MINUTES **August 15, 2025**

1. CALL TO ORDER

Vice Chair Marge Barry called the meeting to order at 10:09 A.M.

ROLL CALL

PRESENT:

Chair - Kurt Yeager (joined at 10:24 A.M.)
Vice Chair – Margaret “Marge” Barry
Secretary – Steve Nozet
Director - Tony Trocino
Director – Bruce Morgan
IWCC Representative – Dennis Coker

ABSENT: None

ALSO, PRESENT:

District Manager Scott Matas (Desert Resort Management/ Associa),
Paul Stotesbury (Allied Universal, (DOS) Director of Security)

2. PLEDGE OF ALLEGIANCE

3. APPROVAL OF THE FINAL AGENDA

A motion was made by Director Steve Nozet and a 2nd by Director Tony Trocino to approve the agenda for the August 15, 2025. Motion carried 4/0.

4. PUBLIC COMMENTS

No attendees. No comments.

5. CONSENT CALENDAR

- a. Minutes; June 12, 2025
- b. Financials; July 2025

A motion was made by Director Tony Trocino and a 2nd by Director Dennis Coker to approve the Consent Calendar. Motion carried 5/0.

6. SECURITY REPORT

- a. July 2025 Security Report

Director of Security (DOS) Paul Stotesbury presented the July 2025 security reports. The Board of Directors reviewed the reports, asked question with answers from DOS.

No action was taken the item is informational.

7. OLD BUSINESS

a. Security Services Ad Hoc Committee

The Board received an update from the committee. The focus will remain on preparing an RFP for security services, including access systems and software.

No action was taken the item is informational.

8. NEW BUSINESS

a. Street re-striping

Tabled. District Manager will need to rebid due to cost and lack of proposals.

b. Road Rehab Project Recommendation

The District Manager presented to the Board options based on budgeted capital expenditure allotted for FY 2025/26. The Board agreed to start an RFP on the recommended streets found in the Pavement Management Plan and not to exceed the budgeted capital expenditure of \$212,000.00 for FY 2025/26.

A motion was made by Director Steve Nozet and a 2nd by Director Bruce Morgan to approve an amount not to exceed \$212,000.00 capital expenditure plan. Motion carried 6/0.

c. Emergency Access Preemption System (EAPS)

The FAMD was notified by the City of Indian Wells that the City Council passed an ordinance to mandate the installation of EAPS at all gated communities. The City also notified each gated community that a \$500.00 rebate will be issued once the project is completed and the proper documentation is returned. The Board gave the District Manager direction to move forward with a proposal to have the system installed at both entrances.

d. Emergency Access Gates

Director Trocino requested a discussion regarding the emergency access gates that are located throughout the community along the north wall of the community. These gates are only opened in an extreme emergency for emergency personal to access communities within the Indian Wells Country Club. In the past it has been determined that the gates are the responsibility of the individual HOA's that the gates border. In recent communication with an HOA management company, they had history and a document stating that the FAMD would be responsible for replacement of the gates and the maintenance would be the responsibility of each HOA. The District Manager cannot locate a recorded document stating the information presented. The Board would like to have more research done before a decision is made on the responsible party. The city has been notified and will update the FAMD when information is available.

e. Fountain Filter Tank

The District Manager presented a proposal from Supreme Pool Service, contracted vendor for fountain cleaning, to repair the filter tank and replace main drain covers at the Club Drive fountain.

A motion was made by Chair Kurt Yeager and a 2nd by Director Tony Trocino to approve an amount not to exceed \$3,362.00 in repairs as stated in the proposal. Motion carried 6/0.

f. 2025/26 Contracts

i. Pest Control

The District Manager reached out to multiple vendors for a monthly pest control service. The Board reviewed the proposals and the recommendation from the District Manager is to award a 5-year contract to Frazier Pest Control for an amount not to exceed \$7,500.00.

A motion was made by Director Bruce Morgan and a 2nd by Director Steve Nozet to approve a 5-year contract with Frazier Pest Control for an amount not to exceed \$7,500.00 for pest control services. Motion carried 6/0.

ii. HVAC Services –Desert Air Conditioning

The District Manager reached out to multiple vendors for a HVAC services. The Board reviewed the proposals and the recommendation from the District Manager is to award a 5-year contract to Desert Air for an amount not to exceed \$10,000.00.

A motion was made by Director Steve Nozet and a 2nd by Director Bruce Morgan to approve a 5-year contract with Desert Air for an amount not to exceed \$10,000.00 for HVAC maintenance services. Motion carried 6/0.

iii. Security Gate Maintenance

The District Manager reached out to multiple vendors for a Security Gate Maintenance service. The Board reviewed the proposals and the recommendation from the District Manager is to award a 5-year contract to Empire Gate Automation for an amount not to exceed \$15,000.00.

A motion was made by Director Steve Nozet and a 2nd by Director Tony Trocino to approve a 5-year contract with Empire Gate Automation for an amount not to exceed \$15,000.00 for security gates maintenance and repair services. Motion carried 6/0.

iv. Transponder

The District Manager has researched vendors to purchase gate access transponder. Big Sky Gate Keeper is a local vendor that can provided the transponders at a much faster turn around and a competitive cost. The Board reviewed the information provided and the recommendation from the District Manager is to award a 5-year contract to Big Sky Gate Keeper for an amount not to exceed \$30,000.00 to purchase RFID transponder tags.

A motion was made by Director Bruce Morgan and a 2nd by Chair Kurt Yeager to approve a 5-year contract with Big Sky Gate Keeper to purchase RFID transponders for an amount not to exceed \$30,000.00. Motion carried 6/0.

v. Desert Resort Management Contract – Extra Clause

The Board reviewed the Desert Resort Management contract specifically *Compensation* section 3(d). The contract is currently written to allow for cost and expenses not to exceed \$10,000.00. The general purchase and needs of the FAMD have exceeded this perimeter.

A motion was made by Director Bruce Morgan and a 2nd by Vice Chair Marge Barry to amend section 3(d) for the Desert Resort Management contract to allow for an amount not to exceed \$30,000.00 in cost and expenses. Motion carried 6/0.

9. DISTRICT MANAGER REPORT

No Report.

10. BOARD MEMBER COMMENTS

No Comments.

11. ANNOUNCEMENTS

The next regularly scheduled meeting of the Fire Access Maintenance District Board of Directors will be held at 10:00 A.M. on October 9, 2025, in person at the City of Indian Wells Council Chambers.

12. ADJOURNMENT

There being no further business, the meeting was adjourned by Vice Chair Marge Barry at 11:19 A.M.

Respectfully Submitted, Scott Matas, District Manager

Attested to: _____ Date: _____

Steve Nozet, FAMD Secretary

YEAR-TO-DATE BUDGET REPORT
JUNE 2025

FOR 2025 12

ACCOUNTS FOR:		ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
209	F.A.M.D. #1							
2090000 F.A.M.D. #1								
2090000	411100	CYSecPrpTx	-333,130	-411,391.38	-124,772.79	.00	78,261.38	123.5%
2090000	411200	CYUnsprpTx	-8,370	-10,328.49	.00	.00	1,958.49	123.4%
2090000	411300	PYPrpTx	-2,100	-1,408.81	.00	.00	-691.19	67.1%*
2090000	411400	RoLIprpTx	-1,900	-4,629.68	.00	.00	2,729.68	243.7%
2090000	421100	Fire Acces	-1,195,000	-1,169,343.72	.00	.00	-25,656.28	97.9%*
2090000	431100	Const Pmt	-1,110	.00	.00	.00	-1,110.00	.0%*
2090000	451100	Invst Earn	-49,200	-16,019.00	.00	.00	-33,181.00	32.6%*
2090000	461500	ProptxRelf	-1,880	-1,459.88	-218.98	.00	-420.12	77.7%*
2090000	486300	Misc Rev	-3,540	-54,144.00	.00	.00	50,604.00	1529.5%
TOTAL F.A.M.D. #1		-1,596,230	-1,596,230	-1,668,724.96	-124,991.77	.00	72,494.96	104.5%
2098601 F.A.M.D. Program								
2098601	531000	Prof Svcs	174,656	127,481.91	10,216.90	21,141.75	26,032.34	85.1%
2098601	533000	Contr Svcs	1,031,637	1,055,410.97	104,569.62	22,673.60	130,552.43	89.2%
2098601	542000	Utilities	34,598	26,119.69	2,859.52	7,666.05	812.26	97.7%
2098601	544000	Bldg&GrMnt	142,468	84,356.40	9,845.00	28,380.07	29,731.53	79.1%
2098601	545000	Infrastruc	134,550	126,204.00	20,226.50	641.04	3,923.96	97.0%
2098601	552000	Communicat	19,407	21,545.23	1,596.29	1,651.97	1,990.80	92.1%
2098601	561000	Office Exp	9,500	2,152.01	212.00	.00	7,347.99	22.7%
2098601	563000	Opr Matrls	1,500	1,375.00	1,375.00	.00	125.00	91.7%
2098601	565000	MinorEquip	2,500	.00	.00	.00	2,500.00	.0%
2098601	591600	IndrctCost	15,000	12,500.00	.00	.00	2,500.00	83.3%
TOTAL F.A.M.D. Program		1,565,816	1,744,816	1,457,145.21	150,900.83	82,154.48	205,516.31	88.2%
2099929 FAMD Capital								
2099929	673100	ConstContr	0	382,142.76	.00	14,627.24	.00	100.0%
TOTAL FAMD Capital		0	382,142.76	382,142.76	.00	14,627.24	.00	100.0%
TOTAL F.A.M.D. #1		-30,414	545,356	170,563.01	25,909.06	96,781.72	278,011.27	49.0%
TOTAL REVENUES		-1,596,230	-1,596,230	-1,668,724.96	-124,991.77	.00	72,494.96	
TOTAL EXPENSES		1,565,816	2,141,586	1,839,287.97	150,900.83	96,781.72	205,516.31	
PRIOR FUND BALANCE 7/1/25:				1,125,397.84				
CHANGE IN FUND BAL-NET OF REVENUES/EXPENSES:				-170,563.01				
Ending Fund Balance 6/30/25:				954,834.83				

YEAR-TO-DATE BUDGET REPORT
JULY 2025

FOR 2026 01

ACCOUNTS FOR:		ORIGINAL	REVISED	YTD	MTD	ENCUMBRANCES	AVAILABLE	PCT
209	F.A.M.D. #1	APPROP	BUDGET	ACTUAL	ACTUAL		BUDGET	USE/COL
2090000 F.A.M.D. #1								
2090000	411100	CYSecPrptX	-431,500	.00	.00	.00	-431,500.00	.0%
2090000	411200	CYUnsPrptX	-10,800	.00	.00	.00	-10,800.00	.0%
2090000	411300	PYPPrptX	-4,100	.00	.00	.00	-4,100.00	.0%
2090000	411400	RoIIPrptX	-7,800	.00	.00	.00	-7,800.00	.0%
2090000	421100	Fire Acces	-1,785,700	.00	.00	.00	-1,785,700.00	.0%
2090000	451100	Invst Earn	-68,400	.00	.00	.00	-68,400.00	.0%
2090000	461500	ProptxRelf	-18,500	.00	.00	.00	-18,500.00	.0%
2090000	486300	Misc Rev	-3,100	.00	.00	.00	-3,100.00	.0%
TOTAL F.A.M.D. #1		-2,329,900	-2,329,900	.00	.00	.00	-2,329,900.00	.0%
2098601 F.A.M.D. Program								
2098601	531000	Prof Svcs	156,100	.00	.00	.00	156,100.00	.0%
2098601	533000	Contr Svcs	1,102,500	.00	.00	.00	1,102,500.00	.0%
2098601	542000	Utilities	37,000	.00	.00	30,500.00	6,500.00	82.4%
2098601	544000	Bldg&GrMnt	157,000	.00	.00	.00	157,000.00	.0%
2098601	545000	Infrastruc	125,000	.00	.00	.00	125,000.00	.0%
2098601	552000	Communicat	20,100	.00	.00	6,500.00	13,600.00	32.3%
2098601	561000	Office Exp	3,600	.00	.00	.00	3,600.00	.0%
2098601	563000	Opr Matrls	1,700	.00	.00	-175.00	1,875.00	-10.3%
2098601	591600	IndrctCost	15,000	.00	.00	.00	15,000.00	.0%
TOTAL F.A.M.D. Program		1,618,000	1,618,000	.00	.00	36,825.00	1,581,175.00	2.3%
TOTAL F.A.M.D. #1		-711,900	-711,900	.00	.00	36,825.00	-748,725.00	-5.2%
TOTAL REVENUES		-2,329,900	-2,329,900	.00	.00	.00	-2,329,900.00	
TOTAL EXPENSES		1,618,000	1,618,000	.00	.00	36,825.00	1,581,175.00	

PRIOR FUND BALANCE 7/1/2025: 923,945.58
CHANGE IN FUND BAL - NET OF REVENUES/EXPENSES: 120.00
REVISED FUND BALANCE 7/31/25: 924,065.58

YEAR-TO-DATE BUDGET REPORT
AUGUST 2025

FOR 2026 02

ACCOUNTS FOR:	ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
209 F.A.M.D. #1							
2090000 F.A.M.D. #1							
2090000 411100 CYSecPrptX	-431,500	-431,500	.00	.00	.00	-431,500.00	.0%
2090000 411200 CYUnsPrptX	-10,800	-10,800	.00	.00	.00	-10,800.00	.0%
2090000 411300 PYPrptX	-4,100	-4,100	.00	.00	.00	-4,100.00	.0%
2090000 411400 Ro11PrptX	-7,800	-7,800	.00	.00	.00	-7,800.00	.0%
2090000 421100 Fire Acces	-1,785,700	-1,785,700	.00	.00	.00	-1,785,700.00	.0%
2090000 451100 Invest Earn	-68,400	-68,400	.00	.00	.00	-68,400.00	.0%
2090000 461500 ProptxRelf	-18,500	-18,500	.00	.00	.00	-18,500.00	.0%
2090000 486300 Misc Rev	-3,100	-3,100	-120.00	-120.00	.00	-2,980.00	3.9%
TOTAL F.A.M.D. #1	-2,329,900	-2,329,900	-120.00	-120.00	.00	-2,329,780.00	.0%
2098601 F.A.M.D. Program							
2098601 531000 Prof Svcs	156,100	156,100	1,331.59	1,331.59	4,168.41	150,600.00	3.5%
2098601 533000 Contr Svcs	1,102,500	1,102,500	.00	.00	.00	1,102,500.00	.0%
2098601 542000 Utilities	37,000	37,000	2,168.44	2,168.44	28,331.56	6,500.00	82.4%
2098601 544000 Bldg&GrMnt	157,000	157,000	4,150.00	4,150.00	47,903.00	104,947.00	33.2%
2098601 545000 Infrastruc	125,000	127,000	.00	.00	127,000.00	.00	100.0%
2098601 552000 Communicat	20,100	20,100	2,966.29	2,966.29	15,233.71	1,900.00	90.5%
2098601 561000 Office Exp	3,600	3,600	.00	.00	3,600.00	.00	100.0%
2098601 563000 Opr Matrls	1,700	1,700	.00	.00	1,525.00	175.00	89.7%
2098601 591600 IndrctCost	15,000	15,000	.00	.00	.00	15,000.00	.0%
TOTAL F.A.M.D. Program	1,618,000	1,620,000	10,616.32	10,616.32	227,761.68	1,381,622.00	14.7%
2099929 FAMD Capita1							
2099929 673100 ConstContr	0	212,122	.00	.00	.00	212,122.00	.0%
TOTAL FAMD Capita1	0	212,122	.00	.00	.00	212,122.00	.0%
TOTAL F.A.M.D. #1	-711,900	-497,778	10,496.32	10,496.32	227,761.68	-736,036.00	-47.9%
TOTAL REVENUES	-2,329,900	-2,329,900	-120.00	-120.00	.00	-2,329,780.00	
TOTAL EXPENSES	1,618,000	1,832,122	10,616.32	10,616.32	227,761.68	1,593,744.00	
BEGINNING FUND BALANCE 7/1/25:			922,565.75				
CHANGE IN FUND BAL - NET OF REVENUES/EXPENSES:			-33,158.12				
ENDING FUND BALANCE 8/31/25:			889,407.63				

YEAR-TO-DATE BUDGET REPORT
SEPTEMBER 2025

FOR 2026 03

ACCOUNTS FOR:		ORIGINAL APPROP	REVISED BUDGET	YTD ACTUAL	MTD ACTUAL	ENCUMBRANCES	AVAILABLE BUDGET	PCT USE/COL
209	F.A.M.D. #1							
2090000 F.A.M.D. #1								
2090000 411100	CYSecPrpTx	-431,500	-431,500	.00	.00	.00	-431,500.00	.0%
2090000 411200	CYUnsPrpTx	-10,800	-10,800	.00	.00	.00	-10,800.00	.0%
2090000 411300	PYPPrpTx	-4,100	-4,100	.00	.00	.00	-4,100.00	.0%
2090000 411400	Ro11PrpTx	-7,800	-7,800	.00	.00	.00	-7,800.00	.0%
2090000 421100	Fire Acces	-1,785,700	-1,785,700	.00	.00	.00	-1,785,700.00	.0%
2090000 451100	Invst Earn	-68,400	-68,400	.00	.00	.00	-68,400.00	.0%
2090000 461500	ProptxRelf	-18,500	-18,500	.00	.00	.00	-18,500.00	.0%
2090000 486300	Misc Rev	-3,100	-3,100	-100.00	.00	.00	-3,000.00	3.2%
TOTAL F.A.M.D. #1		-2,329,900	-2,329,900	-100.00	.00	.00	-2,329,800.00	.0%
2098601 F.A.M.D. Program								
2098601 531000	Prof Svcs	156,100	156,100	1,331.59	.00	35,668.41	119,100.00	23.7%
2098601 533000	Contr Svcs	1,102,500	1,102,500	.00	.00	1,057,620.79	44,879.21	95.9%
2098601 542000	Utilities	37,000	37,000	5,431.32	3,262.88	25,068.68	6,500.00	82.4%
2098601 544000	Bldg&GrMnt	157,000	157,000	8,300.00	4,150.00	43,753.00	104,947.00	33.2%
2098601 545000	Infrastruc	125,000	127,000	21,118.16	21,118.16	105,881.84	.00	100.0%
2098601 552000	Communicat	20,100	20,100	3,518.79	552.50	14,681.21	1,900.00	90.5%
2098601 561000	Office Exp	3,600	3,600	.00	.00	3,600.00	.00	100.0%
2098601 563000	Opr Matrls	1,700	1,700	378.30	378.30	410.10	911.60	46.4%
2098601 591600	IndrctCost	15,000	15,000	.00	.00	.00	15,000.00	.0%
TOTAL F.A.M.D. Program		1,618,000	1,620,000	40,078.16	29,461.84	1,286,684.03	293,237.81	81.9%
2099929 FAMD Capita1								
2099929 673100	ConstContr	0	212,122	.00	.00	.00	212,122.00	.0%
TOTAL FAMD Capita1		0	212,122	.00	.00	.00	212,122.00	.0%
TOTAL F.A.M.D. #1		-711,900	-497,778	39,978.16	29,461.84	1,286,684.03	-1,824,440.19	-266.5%
TOTAL REVENUES		-2,329,900	-2,329,900	-100.00	.00	.00	-2,329,800.00	
TOTAL EXPENSES		1,618,000	1,832,122	40,078.16	29,461.84	1,286,684.03	505,359.81	
PRIOR FUND BALANCE 7/1/2025				910,643.30				
CHANGE IN FUND BAL - NET OF REVENUES/EXPENSES				-39,978.16				
REVISED FUND BALANCE 9/30/2025:				870,665.14				

FAMD #1

INDIAN WELLS COUNTRY CLUB COMMUNITY

SECURITY REPORT

Paul A. Stotesbury
Site Security Director
August, 2025

- August 6, 2025 - Sugarloaf, suspicious person reported, review of Ring camera showed Fire personnel. Non-emergency, wrong house.
- August 26, 2025 - Manitou Gate, suspicious person, transient, disoriented, RSO called, interviewed and advised subject to leave or be arrested.

FIRE DEPARTMENT/ PARAMEDICS

RESPONSES - 10	TRANSPORTS – 6
	<u>RSO</u>
ROUTINE PATROL – 3	CALLS FOR SERVICE – 8
OPEN GARAGE DOOR – 38	OPEN OTHER DOORS – 0
CLUB HOUSE DOORS – 29	TRANSPONDERS INSTALLED – 29

Indian Wells Country Club FAMD #1
Security Staffing Report

	Employee Name	Length of Service at Allied Universal in Months	Length of Service at IWCCC in Months	Position	Scheduled Work Days	Scheduled Work Hours	Total Scheduled Hours/Day	Total Scheduled Hours/Week
1	Casarez, Jose	92	89	Security Officer	Sun/Thurs	2pm-10pm	8	40
2	Diaz, Angelina	10	8	Security Officer	Thues/Mon	2pm-10pm	8	40
3	Fischer, Christy	41	31	Security Officer	Wed/Sun	2pm-10pm	8	16
4	Gonzalez, Gonzalo	39	21	Security Officer	Sun/Tues/Wed	2pm-10pm	8	24
5	Gray, Ken	35	35	Security Officer	Mon/Tues	2pm-10pm	8	16
6	Hernandez, Josue	13	13	Security Officer	Thurs/Sun	10pm-6am	8	40
7	Hosamane, Mahinder	143	193	Security Supervisor	Sun/Thurs	10pm-6am	8	40
8	Lara, Marvin	144	143	Security Senior Supervisor	Mon/Sat	6am - 2pm	8	40
9	Lizarraga, Jesus	7	6	Security Officer	Thurs/Mon	6am-2pm	8	40
10	Parsons, Caleb	8	8	Security Officer	Wed/Sun	2pm/10pm	8	40
11	Pennington, Sandra	36	37	Security Officer	Fri/Mon	10pm-6am	8	32
12	Penny, Max	42	42	Security Officer	Tues/Sat	2pm-10pm	8	40
13	Perez, Helen	20	29	Security Officer	Wed/Sun	2pm-10pm	8	40
14	Rivas, Adam	6	6	Security Officer	Sat/Wed	varieas	8	40
15	Sandoval, Andrea	100	77	Security Officer	Sat-Wed	6am-2pm	8	40
16	Wright, Shawn	29	29	Security Supervisor	Tues/Sat	10pm-6am	8	40
17								
18	Stotesbury, Paul	120	84	Site Security Supervisor	Mon- Fri	Varies	8	40
19	Part Time			Security Officer		6am-2pm	8	
	TOTALS	885	851					592
	AVERAGES	52.06	50.06					

Change	Change
--------	--------

Stats for 2018

Event	Jan.	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Total
Access Denied	0	0	0	0	0	0	0	0					0
Alarm Checks-Security	3	2	1	5	1	0	2	6					20
Animal Control on site	1	0	0	0	1	0	1	1					4
Animal Issues	0	0	0	0	1	0	1	0					2
Burglaries	0	0	0	0	0	0	0	0					0
Thefts	0	0	1	0	0	0	0	0					1
Garage Doors Open	49	38	67	71	38	42	39	38					382
A Shift up to 1400 hrs	1	0	11	7	9	2	14	1					45
B Shift up to 2200 hrs	47	37	47	59	27	38	21	31					307
C shift after 2200 hrs	1	1	9	5	2	2	4	6					30
Doors Open (Other)	28	21	30	29	25	21	26	27					207
Golf Cart Issues	0	0	0	0	0	0	0	0					0
Homeowner Assist/Welfare Check	1	0	6	4	3	2	2	3					21
Landscape/Light Issues	0	0	0	0	0	0	1	0					1
Medical Response / Fire Dept.	12	17	18	14	5	9	8	10					93
Noise Issues	1	2	0	3	0	1	1	1					9
Other - Domestic Issue	0	0	0	0	0	0	0	0					0
Parking Issues	2	1	3	4	0	0	0	0					10
Public Utility Issue	2	0	0	0	0	0	0	1					3
Process Servers	5	2	1	5	4	1	1	2					21
Property Issues/Damage	2	2	3	2	3	0	1	0					13
Realtor Issues	0	0	0	0	0	0	0	0					0
Sheriff on Site	20	13	7	12	11	18	33	11					125
Alarm Response/Call In	14	3	4	6	2	12	26	8					85
Routine Patrol	6	10	3	6	9	6	7	3					51
Suspicious Events	3	6	2	3	3	1	1	4					23
Traffic/Street Issues	0	0	1	0	0	0	0	0					1
Vandalism	0	0	0	0	1	0	0	0					1
Vendor Issues	0	0	0	0	2	1	0	0					3
Water Issues	3	6	0	7	5	9	19	14					69

FAMD #1

INDIAN WELLS COUNTRY CLUB COMMUNITY

SECURITY REPORT

Paul A. Stotesbury
Site Security Director
September, 2025

- September 20, 2025 - Roadrunner/ Pueblo, street sign was hit and damaged. No suspect information, report, photos to DRM
- September 21, 2025 - Espinazo, Fire/ Paramedics and RSO (2 units) responded to bicycle accident, transport. Turned out to be fatal.
- September 23, 2025 - Manitou Drive, Animal Control responded to report of rattlesnake. Found and removed.
- September 24, 2025 - Cove Bar, suspicious person reported, RSO (2 units) responded, unable to locate individual.

FIRE DEPARTMENT/ PARAMEDICS

RESPONSES - 14

TRANSPORTS – 9

RSO

ROUTINE PATROL – 5

CALLS FOR SERVICE – 19

OPEN GARAGE DOOR – 24

OPEN OTHER DOORS – 0

CLUB HOUSE DOORS – 27

TRANSPONDERS INSTALLED – 24

Indian Wells Country Club FAMD #1
Security Staffing Report

	Employee Name	Length of Service at Allied Universal in Months	Length of Service at IWCCC in Months	Position	Scheduled Work Days	Scheduled Work Hours	Total Scheduled Hours/Day	Total Scheduled Hours/Week
1	Casarez, Jose	93	90	Security Officer	Sun/Thurs	2pm-10pm	8	40
2	Diaz, Angelina	11	9	Security Officer	Thues/Mon	2pm-10pm	8	40
3	Fischer, Christy	42	32	Security Officer	Wed/Sun	2pm-10pm	8	10a
4	Gonzalez, Gonzalo	40	22	Security Officer	Sun/Tues/Wed	2pm-10pm	8	24
5	Gray, Ken	36	36	Security Officer	Mon/Tues	2pm-10pm	8	16
6	Hernandez, Josue	14	14	Security Officer	Thurs/Sun	10pm-6am	8	40
7	Hosamane, Mahinder	144	194	Security Supervisor	Sun/Thurs	10pm-6am	8	40
8	Lara, Marvin	145	144	Security Senior Supervisor	Mon/Sat	6am - 2pm	8	40
9	Lizarraga, Jesus	8	7	Security Officer	Thurs/Mon	6am-2pm	8	40
10	Parsons, Caleb	9	9	Security Officer	Wed/Sun	2pm/10pm	8	40
11	Pennington, Sandra	37	38	Security Officer	Fri/Mon	10pm-6am	8	32
12	Penny, Max	43	43	Security Officer	Tues/Sat	2pm-10pm	8	40
13	Perez, Helen	21	30	Security Officer	Wed/Sun	2pm-10pm	8	40
14	Rivas, Adam	7	7	Security Officer	Sat/Wed	varieas	8	40
15	Sandoval, Andrea	101	78	Security Officer	Sat-Wed	6am-2pm	8	40
16	Wright, Shawn	30	30	Security Supervisor	Tues/Sat	10pm-6am	8	40
17								
18	Stotesbury, Paul	121	85	Site Security Supervisor	Mon- Fri	Varies	8	40
19	Part Time			Security Officer		6am-2pm	8	
	TOTALS	902	868					592
	AVERAGES	50.11	48.22					

Change	Change
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Stats for 2018

Event	Jan.	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Total
Access Denied	0	0	0	0	0	0	0	0	0				0
Alarm Checks-Security	3	2	1	5	1	0	2	6	6				26
Animal Control on site	1	0	0	0	1	0	1	1	1				4
Animal Issues	0	0	0	0	1	0	1	0	1				3
Burglaries	0	0	0	0	0	0	0	0	0				0
Thefts	0	0	1	0	0	0	0	0	0				1
Garage Doors Open	49	38	67	71	38	42	39	38	24				406
A Shift up to 1400 hrs	1	0	11	7	9	2	14	1	3				48
B Shift up to 2200 hrs	47	37	47	59	27	38	21	31	20				327
C shift after 2200 hrs	1	1	9	5	2	2	4	6	1				31
Doors Open (Other)	28	21	30	29	25	21	26	27	27				234
Golf Cart Issues	0	0	0	0	0	0	0	0	0				0
Homeowner Assist/Welfare Check	1	0	6	4	3	2	2	3	1				22
Landscape/Light Issues	0	0	0	0	0	0	1	0	0				1
Medical Response / Fire Dept.	12	17	18	14	5	9	8	10	14				107
Noise Issues	1	2	0	3	0	1	1	1	0				9
Other - Domestic Issue	0	0	0	0	0	0	0	0	0				0
Parking Issues	2	1	3	4	0	0	0	0	0				10
Public Utility Issue	2	0	0	0	0	0	0	1	0				3
Process Servers	5	2	1	5	4	1	1	2	3				24
Property Issues/Damage	2	2	3	2	3	0	1	0	4				17
Realtor Issues	0	0	0	0	0	0	0	0	0				0
Sheriff on Site	20	13	7	12	11	18	33	11	24				149
Alarm Response/Call In	14	3	4	6	2	12	26	8	19				104
Routine Patrol	6	10	3	6	9	6	7	3	5				56
Suspicious Events	3	6	2	3	3	1	1	4	5				28
Traffic/Street Issues	0	0	1	0	0	0	0	0	0				1
Vandalism	0	0	0	0	1	0	0	0	0				1
Vendor Issues	0	0	0	0	2	1	0	0	0				3
Water Issues	3	6	0	7	5	9	19	14	17				86

STAFF REPORT

DATE: October 9, 2025
TO: Honorable FAMD Board Members
FROM: FAMD District Manager
SUBJECT: Emergency Access Gates

SUMMARY:

At the August special board meeting, Director Trocino requested a discussion regarding responsibility for the emergency access gates (EAGs) located along the perimeter wall of the Indian Wells Country Club. Historically, maintenance of these gates has been considered the responsibility of the individual homeowners associations (HOAs).

Recently, the Colony HOA began evaluating the replacement of its EAG due to deterioration. During this process, the HOA's management company discovered a tract map document indicating that the Fire Access Maintenance District may be responsible for gate replacement (see attached).

The District Manager reviewed the County of Riverside's GIS mapping system and identified the Colony HOA's EAG within APN 633-750-027. However, the recorded tract map does not include a maintenance exhibit. It is assumed that this information may have originated from past city records.

Ken Seumalo, the former Public Works Director, had planned to investigate the matter from the city's perspective, but the effort was paused following his retirement. The District Manager has since contacted Dina Purvis, the new Public Works Director, to request assistance from her team in confirming the responsible party for EAG maintenance and replacement.

ATTACHMENTS

Map of Area
Recorded Tract Map
Recorded Report
Email from Colony Management to Director Trocino
Documents from Avail Property Management acquired from City

FISCAL IMPACT:

No fiscal impact.

RECOMMENDATIONS

Give direction to the District Manager

I did talk to Ken about this subject, but perhaps it never made it to you.
The FAMD Policy Manual discusses FAMD's responsibility for all incidental uses in sections 1.01.010 Purpose and 1.01.030(c)(1) Basic Maintenance, Incidental. It does include access gates.

1.01.030 POWERS.

1.01.010 PURPOSE.

Pursuant to Resolution No. 1973-18 adopted by the Indian Wells City Council, the Indian Wells Fire Access Maintenance District No. 1 (the "FAMD") was formed for the purposes specified as follows:

"That the public interest and convenience require and a Maintenance District was formed for maintaining and operating access roadways, rights of way and easements for fire protection purposes, including, but not limited to the grading or regarding, paving or repaving, planking or replanking, macadamizing or remacadamizing, graveling or regaveling, and oiling or reoiling thereof, and any structures, barriers, gates or other facilities necessary to restrict the use thereof to fire access vested in the subservient lands, all as now exist or may hereafter be constructed in or for said Maintenance District and of benefit to said Maintenance District but no of benefit to the City of Indian Wells as a whole, which district said Council hereby determines will be the District benefited by the maintenance and operation of said improvements."

I didn't find their maintenance map in any City files, but it could be a part of their CC&R's, which I do not have a copy of.

The exhibit appears to be created by the same entity that created the projects final map and is dated 1991.

It would be logical that it is part of the CCR document that establishes association responsibilities.

And it could easily outline what responsibilities belonged to the FAMD, since it was established in the early 70's.

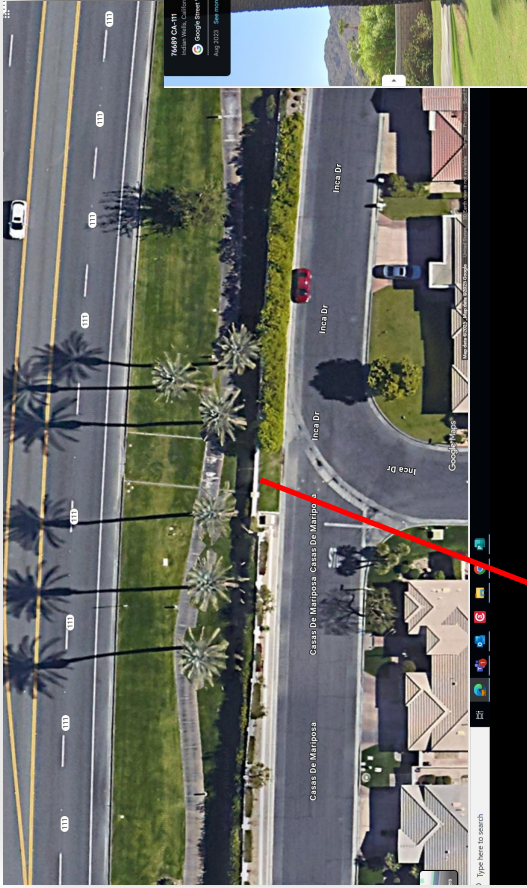
Let me know if you have any questions.

Thank you,



Dina Purvis
Interim Public Works Director

44-950 Eldorado Dr., Indian Wells, CA 92210-7497
dpurvis@indianwells.com | 760.776.0237 | www.IndianWells.com



OWNER'S STATEMENT

WE HEREBY STATE THAT WE ARE THE OWNERS OF THE LAND INCLUDED WITHIN THE SUBDIVISION SHOWN HEREON; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS A CLEAR TITLE TO THE SAID LAND; THAT WE CONSENT TO THE RECORDING OF THIS SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

WE HEREBY OFFER FOR DEDICATION TO THE CITY OF INDIAN WELLS, LOT "A" (MANITOU DRIVE) FOR PUBLIC STREET AND UTILITY PURPOSES. WE HEREBY RETAIN FOR PRIVATE STREET PURPOSES AND MAINTENANCE THEREOF, LOTS "B" THROUGH "E", INCLUSIVE, FOR THE SOLE USE OF OURSELVES, SUCCESSORS, ASSIGNEES AND LOT OWNERS WITHIN THIS TRACT.

WE HEREBY DEDICATE ABUTTERS' RIGHTS OF ACCESS ALONG STATE HIGHWAY 147, INCLUSIVE, TO THE CITY OF INDIAN WELLS, FOR THE SOLE USE OF OURSELVES, SUCCESSORS, ASSIGNEES AND LOT OWNERS WITHIN THIS TRACT. WE AND DURING SUCH TIME WILL HAVE NO RIGHTS OF ACCESS EXCEPT THE GENERAL EASEMENT OF TRAVEL, ANY CHANGE OF ALIGNMENT OR WIDTH THAT RESULTS IN THE VACATION THEREOF SHALL TERMINATE THIS CONDITION OF ACCESS RIGHTS AS TO THE PART VACATED.

WE HEREBY OFFER FOR DEDICATION TO THE CITY OF INDIAN WELLS, EASEMENTS OVER LOTS "B" THROUGH "E", INCLUSIVE, DESIGNATED AS PRIVATE STREETS, AND THE EASEMENT OVER LOT "F" DESIGNATED AS "EMERGENCY ACCESS", WITH RIGHT OF INGRESS AND EGRESS OF SERVICE AND EMERGENCY VEHICLES.

WE HEREBY DEDICATE TO COACHELLA VALLEY WATER DISTRICT, EASEMENTS OVER LOTS "B" THROUGH "E", INCLUSIVE, DESIGNATED AS PRIVATE STREETS. THE EASEMENT OVER LOT "F" DESIGNATED AS "PUBLIC UTILITY EASEMENT" SHOWN ON SAID MAP, FOR DOMESTIC WATER AND SANITATION PURPOSES. THE LANDS, EASEMENTS, CO-LOCATED BELOW CONSTRUCTION, SHALL REMAIN UNDER THE CONTROL, USE AND REMOVE PIPELINES, FIXTURES AND APPURTENANCES AND TO REMOVE OBJECTS INTERFERING WITH THE CONSTRUCTION, OPERATION AND MAINTENANCE THEREOF.

WE HEREBY DEDICATE TO THE CITY OF INDIAN WELLS, FOR DRAINAGE, PEDESTRIAN AND LANDSCAPE PURPOSES AND MAINTENANCE THEREOF, LOT "F". WE HEREBY DEDICATE TO PUBLIC USE, EASEMENTS OVER LOTS 1 THROUGH 64, DESIGNATED AS 6' P.U.E. ON SAID MAP FOR PUBLIC UTILITY PURPOSES.

WE HEREBY RETAIN THE EASEMENT OVER LOT 7 SHOWN AS "10' STORM DRAIN EASEMENT" ON SAID MAP, FOR STORM DRAIN AND INCIDENTAL PURPOSES AND MAINTENANCE THEREOF, FOR THE SOLE USE OF OURSELVES, SUCCESSORS, ASSIGNEES AND LOT OWNERS WITHIN THIS TRACT.

INDIAN WELLS JOINT VENTURE, A CALIFORNIA GENERAL PARTNERSHIP

WILLIAM M. MORRISON
GENERAL PARTNER

NOTARY ACKNOWLEDGEMENT

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO
ON 6/21 DAY OF September 1991, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Ernest W. Hahn (PERSONALLY KNOWN TO ME) THE PERSON WHO EXECUTED THE WITHIN INSTRUMENT AND (PERSONALLY KNOWN TO ME) (PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE ONE OF THE JOINT VENTURERS OF Indian Wells Joint Venture, THE JOINT VENTURE THAT EXECUTED THE WITHIN INSTRUMENT AND VENTURE ACKNOWLEDGED TO ME THAT Indian Wells Joint Venture EXECUTED THE SAME.

MY COMMISSION EXPIRES May 22, 1995



Ernest W. Hahn
NOTARY PUBLIC IN AND FOR SAID STATE

CERTIFICATE OF ACCEPTANCE

I HEREBY CERTIFY THAT UNDER AUTHORITY GRANTED TO ME BY RESOLUTION NO. 24625 OF THE CITY OF INDIAN WELLS, I HAVE ACCEPTED ON BEHALF OF THE COACHELLA VALLEY WATER DISTRICT THE DEDICATION OF EASEMENT FOR DOMESTIC WATER AND SANITATION PURPOSES AS OFFERED HEREON.

Bernardine Sutton, Secretary
COACHELLA VALLEY WATER DISTRICT

IN THE CITY OF INDIAN WELLS, COUNTY OF RIVERSIDE,

STATE OF CALIFORNIA

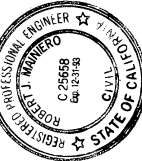
TRACT MAP NO. 24625

BEING A SUBDIVISION OF A PORTION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 23, AND A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, ALL IN TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M.

MAINIERO, SMITH AND ASSOCIATES, INC. FEBRUARY 1990

ENGINEER'S STATEMENT

I HEREBY STATE THAT I AM A REGISTERED CIVIL ENGINEER OF THE STATE OF CALIFORNIA AND THAT THIS MAP CONSISTING OF FOUR (4) SHEETS CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION DURING JULY OF 1989. THE UNDEVELOPED AREAS SHOWN FULLY OR PARTIALLY HEREON ARE CORRECTLY SHOWN OR WILL BE IN PLACE WITHIN ONE YEAR FROM RECORDATION OF THIS MAP. THE MONUMENTS WILL BE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED. THE SURVEY IS TRUE AND COMPLETE AS SHOWN.



DATE: September 19, 1991
Robert J. Mainiero
RCE 25658

CITY ENGINEER'S STATEMENT

THIS MAP CONFORMS TO THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCES. I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND FOUND IT TO BE SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP OF TRACT MAP NO. 24625 AS FILED, AMENDED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF INDIAN WELLS ON AUGUST 3, 1989. THE EXPIRATION DATE BEING AUGUST 3, 1992, AND THAT I AM SATISFIED THIS MAP IS TECHNICALLY CORRECT.

DATE: 10/17/91

CITY ENGINEER: K. H. BELL
CITY OF INDIAN WELLS, CALIFORNIA
RCE # 32506
EXP. 6/30/93

PLANNING COMMISSION STATEMENT

THE TENTATIVE MAP OF TRACT NO. 24625 WAS APPROVED BY THE PLANNING COMMISSION OF THE CITY OF INDIAN WELLS AT ITS MEETING HELD ON JUNE 29, 1989.

Plan Commission
PLANNING DIRECTOR OF THE CITY
OF INDIAN WELLS, CALIFORNIA

NOTARY ACKNOWLEDGEMENT

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO
ON 10/21 DAY OF September 1991, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED William M. Morrison (PERSONALLY KNOWN TO ME) THE PERSON WHO EXECUTED THE WITHIN INSTRUMENT AND (PERSONALLY KNOWN TO ME) (PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE ONE OF THE JOINT VENTURERS OF Indian Wells Joint Venture, THE JOINT VENTURE THAT EXECUTED THE WITHIN INSTRUMENT AND VENTURE ACKNOWLEDGED TO ME THAT Indian Wells Joint Venture EXECUTED THE SAME.

MY COMMISSION EXPIRES 1/6/92

WITNESS MY HAND AND OFFICIAL SEAL

Stephanie J. Paves
NOTARY PUBLIC IN AND FOR SAID STATE

SOILS REPORT

A PRELIMINARY SOILS REPORT WAS PREPARED BY LEIGHTON AND ASSOCIATES ON JUNE 19, 1989, REPORT NO. 5890551-01, AS REQUIRED BY THE HEALTH AND SAFETY CODE.



RECORDER'S STATEMENT

FILED THIS 16th DAY OF September 1991, AT 2:00 P.M. IN BOOK 235 OF MAPS, AT PAGES 13-16, AT THE REQUEST OF THE CITY CLERK OF THE CITY OF INDIAN WELLS.
NO. 358648

FEE: \$12.00

WILLIAM E. CONERNEY, COUNTY RECORDER
BY: Stephanie Paves DEPUTY

SUBDIVISION GUARANTEE BY:

CHICAGO TITLE COMPANY

TAX COLLECTOR'S CERTIFICATE

I HEREBY CERTIFY THAT ACCORDING TO THE RECORDS OF THIS OFFICE, AS OF THIS DATE, THERE ARE NO LIENS AGAINST THE PROPERTY SHOWN ON THIS MAP OR SPECIAL ASSESSMENTS COLLECTED AS TAXES, EXCEPT TAXES OF SPECIAL ASSESSMENTS COLLECTED AS TAXES NOW A LIEN BUT NOT YET PAYABLE, WHICH ARE ESTIMATED TO BE \$

R. WAYNE MATTS
COUNTY TAX COLLECTOR
BY: Dance L. Bunker DEPUTY
October 15, 1991

TAX BOND CERTIFICATE

I HEREBY CERTIFY THAT A BOND IN THE SUM OF \$ HAS BEEN EXECUTED AND FILED WITH THE BOARD OF SUPERVISORS OF THE COUNTY OF RIVERSIDE, CALIFORNIA, CONDITIONED UPON THE PAYMENT OF ALL TAXES, STATE, COUNTY, MUNICIPAL, LOCAL, AND ALL SPECIAL ASSESSMENTS, WHICH ARE COLLECTED AS TAXES, OF THIS MAP WITH THE COUNTY RECORDER ARE A LIEN AGAINST SAID PROPERTY BUT NOT YET PAYABLE AND SAID BOND HAS BEEN DULY APPROVED BY SAID BOARD OF SUPERVISORS.

DATE: _____
GERALD A. MACONEY
CLERK OF THE BOARD OF SUPERVISORS
BY: _____
CASH TAX BOND
R. WAYNE MATTS
COUNTY TAX COLLECTOR
DEPUTY

CITY COUNCIL STATEMENT

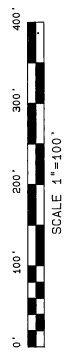
RESOLVED: THAT THIS MAP CONSISTING OF FOUR (4) SHEETS BE, AND THE SAME IS, HEREBY ADOPTED AS THE OFFICIAL MAP OF TRACT NO. 24625 AND THE CITY OF INDIAN WELLS, STATE OF CALIFORNIA, MAY AND THROUGH ITS CITY CLERK, HEREBY AUTHORIZED AND DIRECTED TO ATTEST SAID MAP BY SIGNING HIS NAME THEREON AS CITY CLERK OF THE CITY OF INDIAN WELLS, STATE OF CALIFORNIA, AND TO AFFIX THE OFFICIAL SEAL OF THE CITY THEREON. THE CITY OF INDIAN WELLS, STATE OF CALIFORNIA, AT ITS MEETING HELD ON THE 30th DAY OF OCTOBER, 1991, HEREBY ACCEPT THE OFFER OF DEDICATION OF LOT "A" (MANITOU DRIVE). WE HEREBY ALSO ACCEPT THE RIGHTS OF INGRESS AND EGRESS OVER LOTS "B" THROUGH "E", INCLUSIVE, DESIGNATED AS PRIVATE STREETS, FOR EMERGENCY ACCESS AND PUBLIC UTILITIES AS SHOWN ON THIS MAP OVER A PORTION OF LOT "F". WE HEREBY ALSO ACCEPT THE DEDICATION OF LOT "F" FOR DRAINAGE, PEDESTRIAN AND LANDSCAPE PURPOSES.

DATED: October 4, 1991
CITY CLERK AND EX-OFFICIO CLERK
OF THE CITY OF INDIAN WELLS

SIGNATURE OMISSIONS

PURSUANT TO SECTION 66436 OF THE SUBDIVISION MAP ACT, THE SIGNATURES OF THE FOLLOWING EASEMENT HOLDERS HAVE BEEN OMITTED.
COACHELLA VALLEY COUNTY WATER DISTRICT, HOLDER OF AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES PER INST. NO. 473, REC. JAN. 5, 1970, O.R. AND INST. NO. 4628, REC. JAN. 16, 1970, O.R.
THE UNITED STATES OF AMERICA, HOLDER OF RESERVATIONS AND RIGHTS OF WAY FOR WATER RIGHTS, DITCHES AND PATENTS PER INST. NO. 30, 1915, IN BK 6, PAGE 356 OF PATENTS, O.R.
COACHELLA VALLEY COUNTY WATER DISTRICT, HOLDER OF AN EASEMENT FOR WATER LINES AND INCIDENTAL PURPOSES PER INST. NO. 36880, REC. MARCH 23, 1973, O.R.

MB 235/3



MAP NOTES

THE BASIS OF BEARINGS FOR THIS MAP IS THE WEST LINE OF SECTION 24, T. 5 S., R. 6 E., AS SHOWN ON TRACT MAP 4165, ON FILE IN BOOK 69 OF MAPS, PAGES 55-57, TAKEN AS N 00° 33' W.

- INDICATES FOUND MONUMENT AS NOTED
- INDICATES SET 1" I.P. FLUSH, TAGGED RCE 25658
- △ INDICATES SET 1-1/2" BRASS CAP STAMPED RCE 25658 FLUSH IN A.C. PAVEMENT PER RIV. CO. STD. "B" MON.
- (-) INDICATES RECORD DATA PER M.B. 69/55-57 UNLESS NOTED OTHERWISE
- /// INDICATES RESTRICTED ACCESS

SET NAIL AND TAG IN CURB AT THE PROLONGATION OF ALL FRONT LOT CORNERS. STAMPED RCE 25658. SET NAIL AND TAG IN CURB AT ALL B.C.'S AND E.C.'S EITHER PERPENDICULAR OR RADIAL TO CENTERLINE, AS APPROPRIATE, STAMPED RCE 25658. AT ALL REAR LOT CORNERS SET 1" I.P. AGGED RCE. STAMPED RCE 25658 FLUSH IN A.C. PAVEMENT PER RIV. CO. STD. "B" MON. STAMPED RCE 25658 FLUSH WITH CONC. FOOTING OR NAIL AND TAG IN FENCING MATERIAL, AS APPROPRIATE.

TOTAL GROSS AREA = 22.45 ACRES
FD. PK NAIL V.V.-TIES, NO REF. ACCEPT AS C/L INTER-X HWY. 111
RIV. CO. TYPE "B" MON.

IN THE CITY OF INDIAN WELLS, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

TRACT MAP NO. 24625

BEING A SUBDIVISION OF A PORTION OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 23, AND A PORTION OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, ALL IN TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M.

MAINIERO, SMITH AND ASSOCIATES, INC. FEBRUARY 1990

EASEMENT NOTES

RESERVATIONS AND RIGHTS OF WAY FOR WATER RIGHTS, DITCHES AND CANALS IN FAVOR OF THE UNITED STATES OF AMERICA PER G.L.O. PATENTS REC. JAN. 30, 1915 IN BOOK 6, PAGE 356 OF PATENTS, O.R. (BLANKET IN NATURE)

RESERVATIONS AND RIGHTS OF WAY FOR ROADS, PIPELINES, DITCHES AND STORM-WATER PROTECTION WORKS AND INCIDENTAL PURPOSES IN FAVOR OF COACHELLA VALLEY COUNTY WATER DISTRICT PER INSTR. REC. JUNE 3, 1947 IN BK. 839, PG. 404, O.R. (BLANKET IN NATURE)

- △ EASEMENT IN FAVOR OF COACHELLA VALLEY COUNTY WATER DISTRICT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, 10.00' IN WIDTH, PER INSTR. 473, REC. JAN. 5, 1970, O.R.
- △ EASEMENT IN FAVOR OF COACHELLA VALLEY COUNTY WATER DISTRICT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, 5.00' IN WIDTH, PER INSTR. 4628, REC. JAN. 16, 1970, O.R.
- △ EASEMENT FOR ROAD PURPOSES IN FAVOR OF THE CITY OF INDIAN WELLS PER INSTR. 241279, REC. DEC. 5, 1977, O.R.
- △ EASEMENT IN FAVOR OF THE CITY OF INDIAN WELLS FOR SEMER PURPOSES, 30.00' IN WIDTH, PER INSTR. 71503, RECORDED JUNE 11, 1974, O.R.

FD. 2 1/4" BRASS DISC FLUSH PER INSTR. MAP NO. 204/510

FD. 1 1/4" I.P. WITH NAIL FLUSH PER INSTR. MAP NO. 204/510

FD. 1 1/4" I.P. TAGGED RCE 23966 PER INSTR. MAP NO. 204/510

FD. 1 1/4" I.P. TAGGED RCE 23966 PER INSTR. MAP NO. 204/510

FD. 1 1/4" I.P. TAGGED RCE 23966 PER INSTR. MAP NO. 204/510

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FD. 1 1/4" I.P. TAGGED RCE 23966 PER INSTR. MAP NO. 204/510

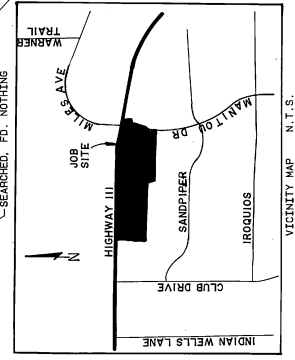
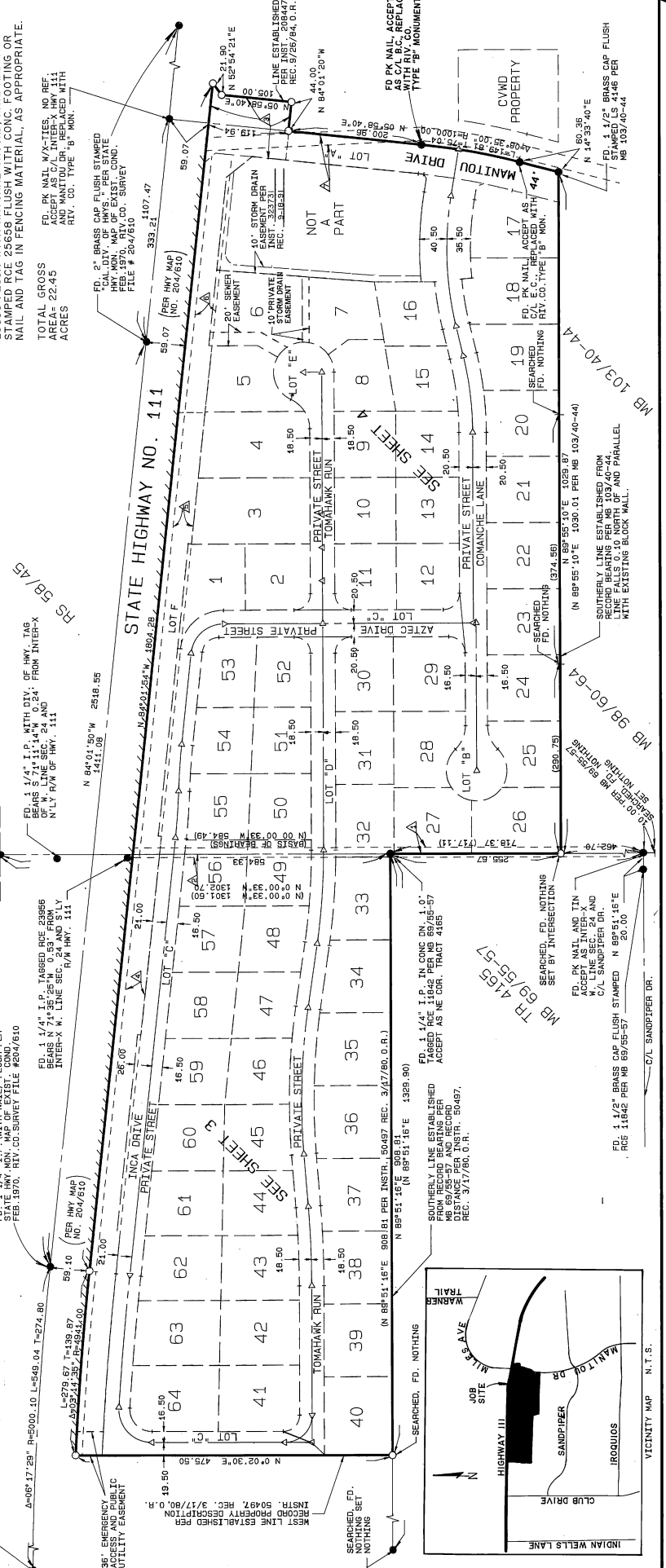
FD. 1 1/4" I.P. TAGGED RCE 23966 PER INSTR. MAP NO. 204/510

FD. 1 1/4" I.P. TAGGED RCE 23966 PER INSTR. MAP NO. 204/510

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FD. 1 1/4" I.P. TAGGED RCE 23966 PER INSTR. MAP NO. 204/510

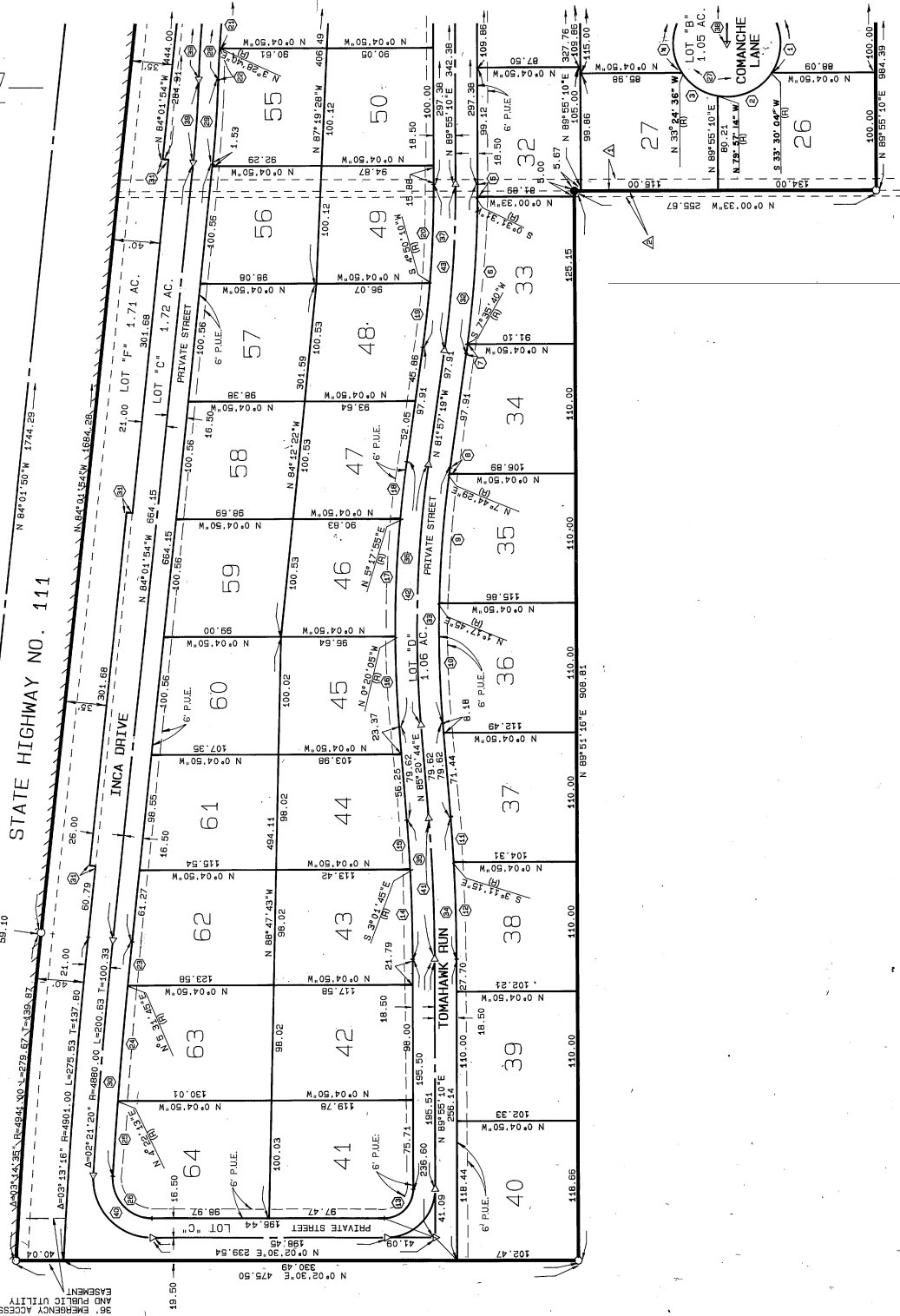


IN THE CITY OF INDIAN WELLS, COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA

TRACT MAP NO. 24625

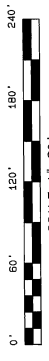
BEING A SUBDIVISION OF A PORTION OF THE EAST 1/2
OF THE SOUTHEAST 1/4 OF SECTION 23, AND A PORTION OF THE
NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, ALL IN
TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M.

MAINIERO, SMITH AND ASSOCIATES, INC. FEBRUARY 1990



Copy

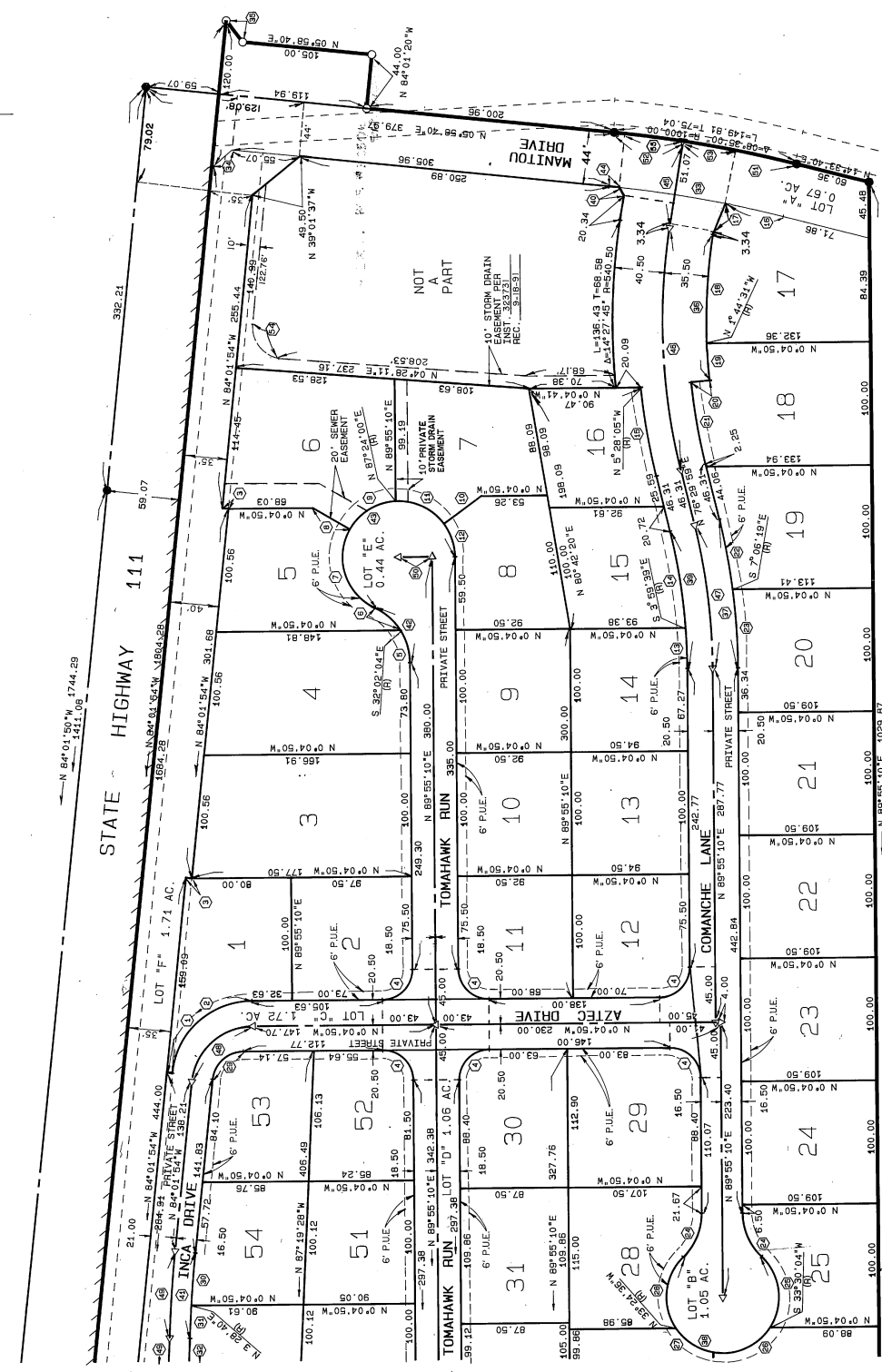
SHEET 4 OF 4 SHEETS



SEE SHEET 2 FOR MONUMENT AND EASEMENT NOTES

IN THE CITY OF INDIAN WELLS, COUNTY OF RIVERSIDE,
STATE OF CALIFORNIA
TRACT MAP NO. 24625
BEING A SUBDIVISION OF A PORTION OF THE EAST 1/2
OF THE SOUTHEAST 1/4 OF SECTION 23, AND A PORTION OF THE
NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 24, ALL IN
TOWNSHIP 5 SOUTH, RANGE 6 EAST, S.B.M.
MAINIERO, SMITH AND ASSOCIATES, INC. FEBRUARY 1990

	DELTA/BEARING	RADIUS	LEN./DIST.	TANGENT
1	N 05°58'06"E	4.50		
2	N 05°58'06"E	85.00	95.24	99.48
3	N 05°58'06"E	5.00		
4	N 05°58'06"E	24.50	38.48	24.50
5	N 05°58'06"E	27.61	14.17	14.17
6	N 05°58'06"E	49.50	28.06	14.42
7	N 05°58'06"E	45.50	75.27	49.46
8	N 05°58'06"E	34.66		
9	N 05°58'06"E	45.50	45.37	24.77
10	N 05°58'06"E	37.66		
11	N 05°58'06"E	44.75	24.37	24.37
12	N 05°58'06"E	45.50	28.73	14.66
13	N 05°58'06"E	45.50	32.75	16.38
14	N 05°58'06"E	479.50	79.56	39.87
15	N 05°58'06"E	520.50	72.97	36.54
16	N 05°58'06"E	966.00	48.24	22.13
17	N 05°58'06"E	23.69		
18	N 05°58'06"E	68.66	44.47	44.47
19	N 05°58'06"E	464.50	30.21	15.11
20	N 05°58'06"E	15.00		
21	N 05°58'06"E	479.50	67.22	33.67
22	N 05°58'06"E	520.50	59.05	29.08
23	N 05°58'06"E	530.50	53.82	31.95
24	N 05°58'06"E	530.50	53.82	31.95
25	N 05°58'06"E	45.50	33.71	21.01
26	N 05°58'06"E	45.50	33.71	21.01
27	N 05°58'06"E	45.50	33.71	21.01
28	N 05°58'06"E	45.50	33.71	21.01
29	N 05°58'06"E	45.50	33.71	21.01
30	N 05°58'06"E	45.50	33.71	21.01
31	N 05°58'06"E	45.50	33.71	21.01
32	N 05°58'06"E	45.50	33.71	21.01
33	N 05°58'06"E	45.50	33.71	21.01
34	N 05°58'06"E	45.50	33.71	21.01
35	N 05°58'06"E	45.50	33.71	21.01
36	N 05°58'06"E	45.50	33.71	21.01
37	N 05°58'06"E	45.50	33.71	21.01
38	N 05°58'06"E	45.50	33.71	21.01
39	N 05°58'06"E	45.50	33.71	21.01
40	N 05°58'06"E	45.50	33.71	21.01
41	N 05°58'06"E	45.50	33.71	21.01
42	N 05°58'06"E	45.50	33.71	21.01
43	N 05°58'06"E	45.50	33.71	21.01
44	N 05°58'06"E	45.50	33.71	21.01
45	N 05°58'06"E	45.50	33.71	21.01
46	N 05°58'06"E	45.50	33.71	21.01
47	N 05°58'06"E	45.50	33.71	21.01
48	N 05°58'06"E	45.50	33.71	21.01
49	N 05°58'06"E	45.50	33.71	21.01
50	N 05°58'06"E	45.50	33.71	21.01
51	N 05°58'06"E	45.50	33.71	21.01
52	N 05°58'06"E	45.50	33.71	21.01
53	N 05°58'06"E	45.50	33.71	21.01
54	N 05°58'06"E	45.50	33.71	21.01
55	N 05°58'06"E	45.50	33.71	21.01
56	N 05°58'06"E	45.50	33.71	21.01
57	N 05°58'06"E	45.50	33.71	21.01
58	N 05°58'06"E	45.50	33.71	21.01
59	N 05°58'06"E	45.50	33.71	21.01
60	N 05°58'06"E	45.50	33.71	21.01
61	N 05°58'06"E	45.50	33.71	21.01
62	N 05°58'06"E	45.50	33.71	21.01
63	N 05°58'06"E	45.50	33.71	21.01
64	N 05°58'06"E	45.50	33.71	21.01
65	N 05°58'06"E	45.50	33.71	21.01
66	N 05°58'06"E	45.50	33.71	21.01
67	N 05°58'06"E	45.50	33.71	21.01
68	N 05°58'06"E	45.50	33.71	21.01
69	N 05°58'06"E	45.50	33.71	21.01
70	N 05°58'06"E	45.50	33.71	21.01
71	N 05°58'06"E	45.50	33.71	21.01
72	N 05°58'06"E	45.50	33.71	21.01
73	N 05°58'06"E	45.50	33.71	21.01
74	N 05°58'06"E	45.50	33.71	21.01
75	N 05°58'06"E	45.50	33.71	21.01
76	N 05°58'06"E	45.50	33.71	21.01
77	N 05°58'06"E	45.50	33.71	21.01
78	N 05°58'06"E	45.50	33.71	21.01
79	N 05°58'06"E	45.50	33.71	21.01
80	N 05°58'06"E	45.50	33.71	21.01
81	N 05°58'06"E	45.50	33.71	21.01
82	N 05°58'06"E	45.50	33.71	21.01
83	N 05°58'06"E	45.50	33.71	21.01
84	N 05°58'06"E	45.50	33.71	21.01
85	N 05°58'06"E	45.50	33.71	21.01
86	N 05°58'06"E	45.50	33.71	21.01
87	N 05°58'06"E	45.50	33.71	21.01
88	N 05°58'06"E	45.50	33.71	21.01
89	N 05°58'06"E	45.50	33.71	21.01
90	N 05°58'06"E	45.50	33.71	21.01
91	N 05°58'06"E	45.50	33.71	21.01
92	N 05°58'06"E	45.50	33.71	21.01
93	N 05°58'06"E	45.50	33.71	21.01
94	N 05°58'06"E	45.50	33.71	21.01
95	N 05°58'06"E	45.50	33.71	21.01
96	N 05°58'06"E	45.50	33.71	21.01
97	N 05°58'06"E	45.50	33.71	21.01
98	N 05°58'06"E	45.50	33.71	21.01
99	N 05°58'06"E	45.50	33.71	21.01
100	N 05°58'06"E	45.50	33.71	21.01





Riverside County Parcel Report

Full Report
633750027

DISCLAIMER

Maps, permit information and data are to be used for reference purposes only. Map features are approximate, and are not necessarily accurate to surveying or engineering standards. The County of Riverside makes no warranty or guarantee as to the content (the source is often third party), accuracy, timeliness, or completeness of any of the data provided, and assumes no legal responsibility for the information contained on this map. Any use of this product with respect to accuracy and precision shall be the sole responsibility of the user.

ASSESSOR DATA

APN	633-750-027-9	Owner Name(s)	NOT AVAILABLE ONLINE
Previous APN	633370034,633370037	Mailing Address	69730 HIGHWAY 111 STE 211 RANCHO MIRAGE CA 92270
Address	,		
Lot Size	1.85		
Property Code	,		
Class Code	HOMESITE/1-4.9 ACRES		

Legal Description

Recorded Book/Page: [MB 235/3](#)

Subdivision: TR NO 24625

Lot/Parcel: D

Block:

Tract Number:

Property Characteristics

Year Constructed:

Property Area (sq ft):

Pool: NO

Stories:

Construction Type:

Central Cool: NO

Baths:

Roof Type:

Central Heat: NO

Bedrooms:

Garage Type:

PARCEL DATA

City Boundary	INDIAN WELLS
City Spheres of Influence	NOT IN A CITY SPHERE
LAFCO Case/Date	N/A
Proposed City Annexation	N/A
Elevation	126 ft
Indian Tribal Land	NOT IN A TRIBAL LAND
March Joint Powers Authority	NOT IN THE JURISDICTION OF THE MARCH JOINT POWERS AUTHORITY
Supervisory District	V MANUEL PEREZ, DISTRICT 4
Thomas Bros. Map Page/Grid	PAGE: 849, GRID: D1
Township/Range	T5SR6E SEC 23 SE T5SR6E SEC 24 SW

PLANNING [more...](#)

Agricultural Preserve	NOT IN AN AGRICULTURAL PRESERVE
Airport Compatibility Zones	NOT IN AN AIRPORT COMPATIBILITY AREA
Airport Influence Areas	NOT IN AN AIRPORT INFLUENCE AREA
Area Plan (RCIP)	Western Coachella Valley

Community Advisory Councils	NOT IN A COMMUNITY ADVISORY COUNCIL
Community Facility Districts	NOT IN A COMMUNITY FACILITY DISTRICT
General Plan Policy Areas	NOT IN A GENERAL PLAN POLICY AREA
General Plan Policy Overlays	NOT IN A GENERAL PLAN POLICY OVERLAY
Historic Preservation Districts	NOT IN A HISTORIC PRESERVATION DISTRICT
Land Use Designations	CITY

Residential Permit Stats

Expected Units:
 BRS Permit Units: Final Issued Active
 Current Permits:
 Cumulative Total:
 % of Expected:

Environmental Justice Communities	NOT IN AN ENVIRONMENTAL JUSTICE COMMUNITY
Specific Plans	NOT IN A SPECIFIC PLAN
Zoning Classifications (ORD. 348)	Contact the Planning Dept at https://planning.rctlma.org/Contact-Us for more information CHECK WITH THE CITY FOR MORE INFORMATION
Zoning Overlays	NOT IN A ZONING OVERLAY
Zoning Districts and Zoning Areas	NOT IN A ZONING DISTRICT/AREA

ENVIRONMENTAL [more...](#)

Coachella Valley Multi-Species Habitat Conservation Plan (CVMSHCP) Plan Area	COACHELLA VALLEY
CVMSHCP Conservation Area	NOT COACHELLA VALLEY CONSERVATION AREA
CVMSHCP Fluvial Sand Transport Special Provision Areas	NOT IN A FLUVIAL SAND TRANSPORT SPECIAL PROVISION AREA
Habitat Acquisition and Negotiation Strategy/Expedited Review Process	NOT IN A HANS/ERP PROJECT
Vegetation (2005)	NOT IN A VEGETATION AREA
Western Riverside County Multi-Species Habitat Conservation Plan (WRMSHCP) Plan Area	NOT IN A WESTERN RIVERSIDE COUNTY PLAN FEE AREA
WRMSHCP Cell Group	NOT IN A CELL GROUP
WRMSHCP Cell Number	NOT IN A CELL NUMBER

FIRE

Fire Hazard Classification (Ord. 787)	NOT IN A FIRE HAZARD ZONE
Fire Responsibility Area	NOT IN A FIRE RESPONSIBILITY AREA

DEVELOPMENT FEES

CVMSHCP Fee Area (Ord 875)	COACHELLA VALLEY
Development Agreements	NOT IN A DEVELOPMENT AGREEMENT
Development Impact Fee Area (Ord. 659)	WESTERN COACHELLA VALLEY, AREA 2
Eastern Transportation Uniform	IN OR PARTIALLY WITHIN A TUMF FEE AREA

Mitigation Fee
(TUMF) (Ord. 673)

Road & Bridge Benefit District	NOT IN A ROAD BRIDGE BENEFIT DISTRICT
Stephen's Kangaroo Rat Fee Area (Ord. 663.10)	NOT IN THE SKR FEE AREA
Western Transportation Uniform Mitigation Fee (TUMF) (Ord. 824)	NOT IN THE WESTERN TUMF FEE AREA
WRMSHCP Fee Area (Ord. 810)	NOT IN A WESTERN RIVERSIDE COUNTY PLAN FEE AREA

TRANSPORTATION

Circulation Element Ultimate Right-of-Way	NOT IN A CIRCULATION ELEMENT RIGHT-OF-WAY
Community and Environmental Transportation Acceptability Process Corridors	NOT IN A CETAP CORRIDOR
Road Book Page	211
Transportation Agreements	NOT IN A TRANS AGREEMENT

HYDROLOGY

Flood Control District	COACHELLA VALLEY WATER DISTRICT
Flood Plan Review	OUTSIDE FLOODPLAIN, REVIEW NOT REQUIRED
Water District	COACHELLA VALLEY WATER DISTRICT
Watershed	WHITEWATER

GEOLOGIC

Fault Zone	NOT IN A FAULT ZONE
Faults	NOT IN A FAULT LINE
Liquefaction Potential	MODERATE
Paleontological Sensitivity	LOW POTENTIAL (L): FOLLOWING A LITERATURE SEARCH, RECORDS CHECK AND A FIELD SURVEY, AREAS MAY BE DETERMINED BY A QUALIFIED VERTEBRATE PALEONTOLOGIST AS HAVING LOW POTENTIAL FOR CONTAINING SIGNIFICANT PALEONTOLOGICAL RESOURCES SUBJECT TO ADVERSE IMPACTS.
Subsidence	SUSCEPTIBLE

MISCELLANEOUS

2010 Census Tract	451.22
Communities	INDIAN WELLS
Farmland	URBAN-BUILT UP LAND
Lighting (Ord. 655)	ZONE: B
School District	DESERT SANDS UNIFIED
Special Notes	NO SPECIAL NOTES
Tax Rate Areas	NOT IN A TAX RATE AREA
Vapor Intrusion Mitigation Systems	NOT IN A VAPOR INTRUSION MITIGATION SYSTEM

DEPARTMENT OF ENVIRONMENTAL HEALTH PERMITS

Septic Systems

Permit Id	Plan Review	Submitted Date	Status
-----------	-------------	----------------	--------

N/A	N/A		N/A
Well Water			
Permit Number	Type of Well	Service Type	Application Date Status
N/A	N/A	N/A	N/A
PLUS PERMITS & CASES			
Administration Cases			
Case		Case Description	Status
N/A	N/A		N/A
Building and Safety Cases			
Case		Case Description	Status
N/A	N/A		N/A
Code Cases			
Case		Case Description	Status
N/A	N/A		N/A
Fire Cases			
Case		Case Description	Status
N/A	N/A		N/A
Planning Cases			
Case		Case Description	Status
N/A	N/A		N/A
Survey Cases			
Case		Case Description	Status
MAP29461			ISSUED
Transportation Cases			
Case		Case Description	Status
N/A	N/A		N/A

From: Tony Trocino <trotony7@gmail.com>
Sent: Thursday, August 7, 2025 9:46 AM
To: Scott Matas
Subject: Fwd: TCIW - Maintenance Map - 080725

Follow Up Flag: Follow up
Flag Status: Completed

Caution: [EXTERNAL EMAIL] This email originated from outside the company.

See the latest from our pm co

Sent from my iPhone

Begin forwarded message:

From: lyad Khoury <lyad@availhoa.com>
Date: August 7, 2025 at 9:42:44 AM PDT
To: Darlene Adkins <Darlene@availhoa.com>, "Trocino, Tony" <trotony7@gmail.com>" <trotony7@gmail.com>
Cc: Customer Service <CustomerService@availhoa.com>
Subject: Re: TCIW - Maintenance Map - 080725

Tony,

We went through this years ago when Jim was on the Board. He did all the research. FAMD is responsible and all residents pay for it on the property tax roll.

Thanks

Get [Outlook for iOS](#)

From: Darlene Adkins <Darlene@availhoa.com>
Sent: Thursday, August 7, 2025 9:28:20 AM
To: Trocino, Tony <trotony7@gmail.com> <trotony7@gmail.com>
Cc: Customer Service <CustomerService@availhoa.com>; lyad Khoury <lyad@availhoa.com>
Subject: TCIW - Maintenance Map - 080725

Good Morning, Tony.

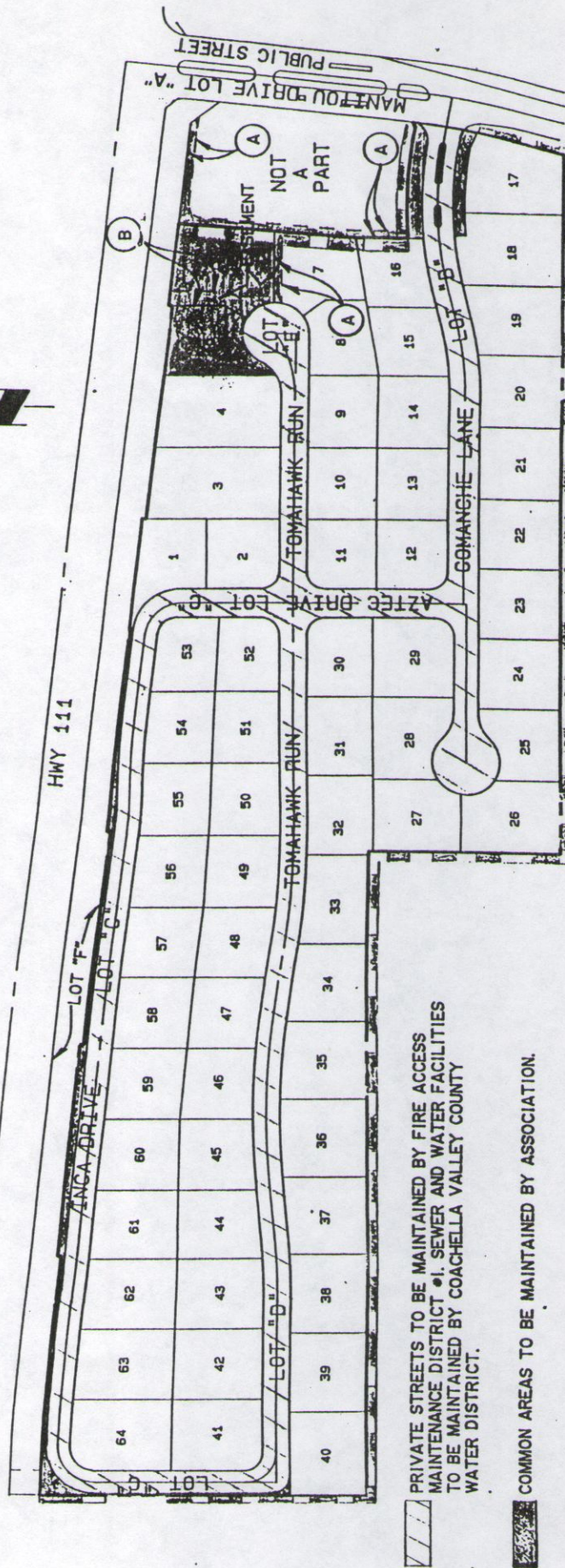
I have attached the maintenance map that is part of the attached Conditions for Approval provided by the city. Since the map is in black and white, I took the liberty of highlighting the walls the association is responsible for maintaining.

The map indicates the perimeter walls are the responsibility of F.A.M.D.
As soon as I receive the proposals for the fire access gate, I will send them to you.

Please let me know if you have any questions.



TR. 24625 **EXHIBIT "A"** MAINTENANCE EXHIBIT



PRIVATE STREETS TO BE MAINTAINED BY FIRE ACCESS
 MAINTENANCE DISTRICT #1. SEWER AND WATER FACILITIES
 TO BE MAINTAINED BY COACHELLA VALLEY COUNTY
 WATER DISTRICT.

COMMON AREAS TO BE MAINTAINED BY ASSOCIATION.

WALLS TO BE MAINTAINED BY ASSOCIATION.

(A) 10' STORM DRAIN EASEMENT TO BE MAINTAINED BY ASSOCIATION.

(B) 20' SEWER EASEMENT. SEWER FACILITIES TO BE MAINTAINED BY
 COACHELLA VALLEY COUNTY WATER DISTRICT.

INDIVIDUAL LOTS ARE TO BE MAINTAINED BY INDIVIDUAL PROPERTY OWNER.

EXHIBIT "A"

FOR FINAL MAP NO. 26595 Conditions of Project Approval

GENERAL:

1. The Final Map No. 26595 attached as Exhibit "B" is approved subject to the conditions of (Exhibit "A").
2. A final map shall be prepared in accordance with the approved tentative map and filed in accordance with the City Subdivision Code within thirty-six months after the date of City Council approval of the tentative map.
3. The project shall conform to the development standards of the Residential Very Low Density zone.
4. Prior to final map approval, the Applicant shall obtain clearance from the following:

City Engineer Planning Director Coachella Valley Water District (CVWD)	Fire Marshal Caltrans
--	--------------------------
5. Prior to issuance of buildings permits, the Applicant shall be required to pay the School District fees as authorized under Government Code Section 65995.
6. Prior to issuance of building permits, the applicant shall be required to pay fees and/or land dedication in accordance with the City's park dedication requirements set forth in Section 20.36.040 of the Subdivision Code.
7. All construction activities shall be limited to the hours of 7 a.m. to 7 p.m. on Mondays through Fridays, 9 a.m. to 6 p.m. on Saturdays, with no construction work on Sundays or major holidays as set forth in the City's Noise Ordinance.
8. Pursuant to Fish and Game Code 711.4, a "filing fee" of \$1,250 for a Negative Declaration or \$850 for an Environmental Impact Report is collected by the County Clerk on behalf of the State to offset the cost of managing and protecting fish and wildlife trust resources. There is no filing fee for the filing of a statutory or categorical exemption, however a \$75 "Administrative Fee" is collected by the County Clerk for document processing. All fees must accompany the Notice of Determination filed with the County Clerk. The Applicant is responsible for the payment of all applicable fees charged pursuant to Fish & Game Code Section 711.4.
9. The project shall be subject to any housing mitigation fees in effect at such time that building permits are issued.

Exhibit "A"

14 A

36

CONSERVATION:

10. Residential development shall include provisions for design features that conserve water, including low flush toilets and faucets, and the inclusion of water conserving irrigation practices.
11. Subdivision plans and architectural and landscape design plans shall promote, to the maximum extent feasible, design strategies to maximize the opportunity for use of solar panels and shading and natural cooling.
12. A survey of the project site shall be conducted to determine the presence or absence of Flat-tailed Horn Lizards and the Coachella Valley milk vetch during the time of year when these species are most detectable. These surveys may be conducted simultaneously by a field qualified botanist in late spring (May), or separately, by a qualified botanist and a qualified herpetologist. No grading or site disturbances shall occur on the site prior to conducting the survey(s). Should the survey(s) determine the presence of Coachella Valley milk vetch, the following mitigation measures shall be required of the applicant:
 - a. One or more of the following programs shall be required of the Applicant as further set forth in Appendix B included herein:
 - .1 Seed collection and establishment of a new population.
 - .2 Experimental establishment of a new population from seed or by transplantation.
 - .3 Funding of Coachella Valley milk vetch status review and management plan.
 - .4 Acquisition of off-site property now occupied by Coachella Valley milk vetch.
 - .5 Provide for long-term management of a protected off-site population.
 - b. Should the survey determine the presence of the Flat-tailed Horn Lizard, the following mitigation measure shall be required:

The Applicant shall consult with the California Department of Fish and Game (CDFG) to determine suitable mitigation. In coordination with CDFG, the U.S. Department of Interior Bureau of Land Management has developed a habitat replacement schedule to mitigate impacts to the

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species. The Nature Conservancy and the Living Desert Museum shall also be offered the opportunity to salvage (capture and relocate) the animals if they occur on-site. If the Flat-tailed Horn Lizard has been listed as threatened or endangered under the federal Endangered Species Act before construction begins, the USFWS may required additional mitigation measures.

13. The Applicant shall utilize, to the extent possible, native and water efficient landscaping, and water conservation devices, and explore the use of treated effluent.

PUBLIC WORKS:

14. It is understood that the Applicant correctly shows all existing easements, travel ways and drainage courses, and that their omission may require the subdivision to be resubmitted for further consideration.
15. The Final Map shall be prepared by a licensed land surveyor or registered civil engineer, subject to all the requirements of the State of California Subdivision Map Act and City Development Code Ordinance No. 249.
16. The Applicant shall comply with the State of California Subdivision Map Act, and all applicable City of Indian Wells Ordinances and Resolutions.
17. Street names shall be subject to the approval of the Community Development Department.
18. A permit shall be required from CALTRANS for any work within the Highway 111 right-of-way.
19. This project shall take access through the Fire Access Maintenance District No. 1 ("FAMD #1") streets.
20. Written certification from the affected water district that adequate sewer and water facilities are or will be available to serve the project shall be submitted to the Community Development Department. Such letter must have been issued by the Water District within ninety (90) days prior to final map approval in the case of subdivision or issuance of permits in the case of all other residential projects.
21. The applicant shall construct an acoustical noise barrier consisting of a 7.5 foot sound wall with no more than 6 feet of such wall visible from Highway 111. Such wall shall be constructed of masonry block or other material or a combination of material (i.e. earthen berm), provided all material is rated 3.5 pounds per square foot surface weight or greater as approved by the City.

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38

22. The design, configuration and composition of the noise barrier shall be subject to review and approval of the City's Architectural Landscape Committee.

GRADING:

23. The Applicant shall submit two (2) copies of a soils report to the Public Works Department prior to map recordation. The report shall address the soil's stability and geological conditions of the site. Seismic and structural design considerations for any subsequent development on-site shall be based in accordance with the findings set forth in the survey and any provisions of applicable code standards.
24. Prior to approval of a final tract map, the findings set forth in the soils report shall be incorporated into the project design.
25. Grading of the subject property shall be in accordance with the Uniform Building Code, City Grading Standards and accepted grading practices. Grading plans shall include an erosion, siltation and dust control plan to be approved by the City Engineer. The final grading plan shall be in substantial conformance with the approved grading plan. A bond for proper control and clean up of erosion and blow sand shall be required.
26. A grading permit shall be obtained from the Public Works Department prior to commencement of any grading outside of the City-maintained road right-of-way.
27. No rough grading shall take place prior to substantial completion of the improvement plans, receipt of appropriate clearance letters, and approval by the City Engineer.
28. The Applicant shall submit recorded slope easements from adjacent landowners in all areas where grading is proposed to take place outside of the tract's boundaries.
29. Erosion control facilities will be required. Erosion control plans and notes shall be submitted and approved by the Public Works Department. In order to minimize soil erosion, the use of native vegetation and permeable ground materials shall be considered.
30. As determined appropriate by the City Engineer, temporary erosion-control strategies and dust suppressant measures shall be undertaken to minimize fugitive dust impacts and waterborne sediment transport during construction activities.
31. Trucks importing or exporting soil material and/or debris shall be covered and/or sprinklered prior to entering public streets to minimize potential fugitive dust. Construction equipment shall be stored on the project site to eliminate heavy duty equipment truck trips.

32. Roadway and parking areas shall be periodically swept or otherwise cleared of dirt and other contaminants to minimize fugitive dust. Cleaning practices shall avoid the discharge of surplus water into existing flood control facilities.
33. At the discretion of the City Engineer and/or Air Quality Management District, those dust suppressant and/or erosion control measures included in the grading plans shall be implemented.
34. Prior to issuance of a grading permit, a cultural resource study shall be conducted consisting of: 1) a records search to determine whether any previously recorded historical or prehistorical material is present on the site, 2) a field reconnaissance intended to identify any previously unrecorded cultural resources, and 3) excavation of feature(s) found during the field reconnaissance in accordance with standard regulations.

STREET IMPROVEMENTS:

35. All street centerline intersections shall be at 90 degrees radial except for the cul-de-sac street.
36. Prior to the recordation of the final tract map, the Applicant shall submit Conditions, Covenants, and Restrictions (C.C. & R's) to the City for review and approval. Said document shall include provisions for ongoing maintenance of all streets, lots, common areas, walls, landscaped areas and for provisions for public enforcement of traffic regulations pursuant to California Vehicle Code Section 71107.7.
37. The subdivider shall construct or post security guaranteeing the construction of improvements in conformance with applicable City standards, including the following:
 - a. Street improvements, including, but not limited to: pavement, curb and gutter, medians, drive approaches, signing, striping, and other traffic control devices as appropriate.
 - b. Storm drain facilities.
 - c. Landscaping (street and parks).
 - d. Sewer and domestic water systems.
 - e. All trails, as required by the City's Master Plans, i.e. bicycle paths.
 - f. Undergrounding of existing and proposed utility distribution lines.

38. Sufficient right-of-way along Highway 111 shall be confirmed to exist or conveyed for public use to provide for a 98 foot half-width right-of-way (55 foot landscape setback from curb).
39. Sandpiper Drive shall be improved with concrete curb and gutter located 24 feet from centerline and match-up asphalt concrete paving; reconstruction, or resurfacing of existing paving as determined prior to plan approval within a 36 foot half-width dedicated right-of-way in accordance with City standard.
40. All interior streets shall be improved within the dedicated right-of-way in accordance with County Standard No. 105, Section B (~~36'/60'~~ 16.5'/33').
41. The street leading to the property bordering on the west shall intersect such that it creates a 'T' intersection only with interior tract streets.
42. Surety shall be posted and an agreement executed to the satisfaction of the City Engineer and the City Attorney, guaranteeing completion of the public and/or private street improvements, prior to the approval of the final map or the issuance of building permits, whichever occurs first.
43. Street improvement plans, per City standards for the private streets or drives, shall be required for review and approval by the City Engineer.
44. Prior to any work being performed on the private streets or drives, fees shall be paid and a construction permit shall be obtained from the City Engineer's Office, in addition to any other permits required.
45. A second independent paved access to the nearest existing paved road maintained by the City shall be constructed within the public right-of-way in accordance with County Standards, a minimum width of 24 feet (turf block may be acceptable).
46. The subdivider shall comply with the following design standards throughout this project:
 - a. Corner cutbacks in conformance with County Standard No. 805 shall be offered for dedication and shown on the final map.
 - b. Lot access shall be restricted on Highway 111 and Sandpiper Drive and so noted on the final map (except at intersections).
 - c. The minimum centerline grade shall be 0.50 percent.
47. All street improvements shall be installed to the satisfaction of the City Engineer.

TRAFFIC ENGINEERING:

48. A signing and striping plan shall be designed by a registered traffic engineer and approved by the City Traffic Engineer and the City Engineer for all streets 66'/44' or wider and shall be included in the street improvement plans.

DRAINAGE:

49. A detailed drainage study will be required to be submitted to the City Engineer for review and approval. The study shall be prepared by a registered civil engineer and shall include existing, interim and proposed conditions, including hydrology and hydraulic calculations.
50. As a custom-lot subdivision, the following requirements shall be met:
- a. Surety shall be posted and an agreement executed guaranteeing completion of all on-site drainage facilities necessary for dewatering all parcels to the satisfaction of the Public Works Department prior to recordation of the map and prior to the issuance of grading permits.
 - b. Appropriate easements, for safe disposal of drainage water that are conducted on to or over adjacent parcels, are to be delineated and recorded to the satisfaction of the Building and Safety Department prior to issuance of grading and building permits.
 - c. On-site drainage improvements, necessary for dewatering and protecting the subdivided properties, are to be installed prior to issuance of building permits for construction upon any parcel that may be subject to drainage flows entering, leaving or within a parcel relative to which a building permit is requested.
 - d. Final grading plans for each parcel are to be submitted to the Public Works Department for approval prior to issuance of building and grading permits. (This may be on an incremental or composite basis).
 - e. All slope banks in excess of five (5) feet in vertical height and of 5:1 or greater slope shall be seeded with native grasses upon completion of grading or some other alternative method of erosion control shall be completed to the satisfaction of the Building Official and City Planner. Irrigation shall be provided to germinate the seed and maintain growth for a period of six months after germination.
51. The subdivider shall accept and properly dispose of all off-site drainage flowing onto or through the site. Should the quantities exceed the street capacity, or the use of streets be prohibited for drainage purposes, the subdivider shall provide

adequate facilities as approved by the Public Works Department.

52. All lots shall drain toward the street unless otherwise approved by the City Engineer.

LANDSCAPING:

53. Prior to final map, the Applicant is required to submit an application for annexation with supporting documentation, pay an annexation fee, and complete the Annexation Process for inclusion into LLD No. 91-1.
54. The Applicant, the Applicant's successors or assignees, shall be responsible for all parkway landscaping maintenance until such time as maintenance duties are accepted by the District.
55. All landscaped plans submitted for consideration shall be in conformance with City of Indian Wells' Landscape Guidelines and requirements of the City's Community Development Department. A landscape plan shall be provided for all common areas and each lot prior to development for review and approval of the City Architectural Landscape Committee.
56. If the City Engineer determines that the tract's street improvement bond is insufficient to cover the parkway and easement landscaping, and irrigation, the Applicant shall post a landscape performance bond, which shall be released concurrently with the release of subdivision performance bonds, guaranteeing the viability of all landscaping which will be installed prior to the assumption of the maintenance responsibility by the district.
57. Detailed landscaping and irrigation plans shall be submitted for Planning Department's approval for the phase of development in process. The plans shall be certified by a landscape architect and shall provide permanent, automatic irrigation systems, which shall be installed on all landscaped areas requiring irrigation and be in full compliance with the adopted Landscape Guidelines and Design Specifications.
58. Highway 111 right-of-way (55') shall be landscaped to include a bike path per City Standards and sound wall. The applicant shall also provide and bear all cost of a bike path along Highway 111 extending west of the project site to Manitou Drive.
59. The inclusion of palm trees shall be considered in the project's landscape plan.
60. A landscaped median shall be installed at the project's entry from Sandpiper Drive to accommodate the project's identification signage. The design of the landscaped median shall be subject to approval from the City's Architecture and Landscape Committee (ALC).

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43

PUBLIC SAFETY

61. That the project shall comply with the fire protection measures in accordance with the City Municipal Code, NFPA, UFC, and UCB and/or recognized fire protection standards as follows:
- a. Provide or show that a water system exists that is capable of providing a potential gallon pr minute flow of 1,500 (single family). The actual fire flow available from any one hydrant connected to any given water main shall be 1,500 GPM for two hour duration at 20 PSI residual operating pressure.
 - b. A fire flow of 1500 gpm for a 1 hour duration at 20 psi residual operating pressure must be available before any combustible material is placed on the site.
 - c. The required fire flow shall be available from a Super hydrant(s), (6" x 4" x 2-1/2 x 2-1/2), located not less than 25' not more than 200' from any portion of the building(s) as measured along the approved vehicular travel ways. Hydrant installed below 3000' elevation shall be of the "wet barrel" type.
 - d. A combination of on-site and off-site Super fire hydrant, (6" x 4" x 2-1/2" x 2-1/2"), shall be required, located not less than 25' or more than 200' from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrant(s) in the system.
 - e. Provide written certification from CVWD that hydrant(s) will be installed and will produce the required fire flow, or arrange field inspection by the Fire Department prior to request for final inspection.
 - f. Prior to the application for a building permit, the Applicant shall furnish the original and two copies of the water system plan to the County Fire Department for review. No building permit shall be issued until the water system plan has been approved by the County Fire Chief. Upon approval, the original will be returned. One copy will be sent to the responsible inspecting authority.

Plans shall conform to fire hydrant types, location and spacing, and the system shall meet the fire flow requirements. Plans shall be signed by a Registered Civil Engineer and may be signed by the CVWD with the following certification: "I certify that the design of the water system is in accordance with the requirements prescribed by the Riverside County

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Fire Department. The system has been designed to provide a minimum gallon per minute flow of 1500, 2500, 3000."

- g. All buildings shall be accessible by an all-weather roadway extending to within 150' of all portions of the exterior walls of the first story. The roadway shall not be less than 24' of unobstructed width and 13'6" of vertical clearance. Where parallel parking is allowed, the roadway shall be 36' wide with parking on both sides, 32' wide with parking on one side. Dead-end roads in excess of 150' shall be provided with a minimum 45' radius turn-around. Fountains or gardens islands placed in the middle of these turn a rounds shall not exceed a 5' radius or 10' diameter.
 - h. If access into the project is controlled through use of gates, barriers, guardhouses or similar means, provisions shall be made to facilitate access by emergency vehicles in a manner approved by the Fire Department. All controlled access devices that are power operated shall have a radio-controlled over-ride system capable of operating the gate when activated by a special transmitter located in emergency vehicles. Devices shall be equipped with backup power facilities to operate in the event of power failure. All controlled access devices that are not power operated shall also be approved by the Fire Department. Minimum opening width shall be 16' with a minimum vertical clearance of 13'6". A dead-end single access over 500' in length will require a secondary access, sprinklers or other mitigated measures.
 - i. A second access is required. This can be accomplished by two main access points from the main roadway or an emergency gated access into an adjoining development.
 - j. All new residences/dwellings are required to have an illuminated building street address prior to the issuance of the Certificate of Occupancy.
- 61. The Riverside County Fire Department shall be afforded the opportunity to review and comment on the approved tentative map and final development plans.
 - 62. Low intensity lighting or limited light fixtures shall be used for roadway illuminations and security as directed by the City Engineer and City Architecture Landscape Committee. The Applicant shall submit a lighting plan to the City Planning Department for review and approval.
 - 63. Seismic design consideration shall be in accordance with the provisions of the current Uniform Building Code and the seismic design parameters of the Structural Engineers Association of California.

STAFF REPORT

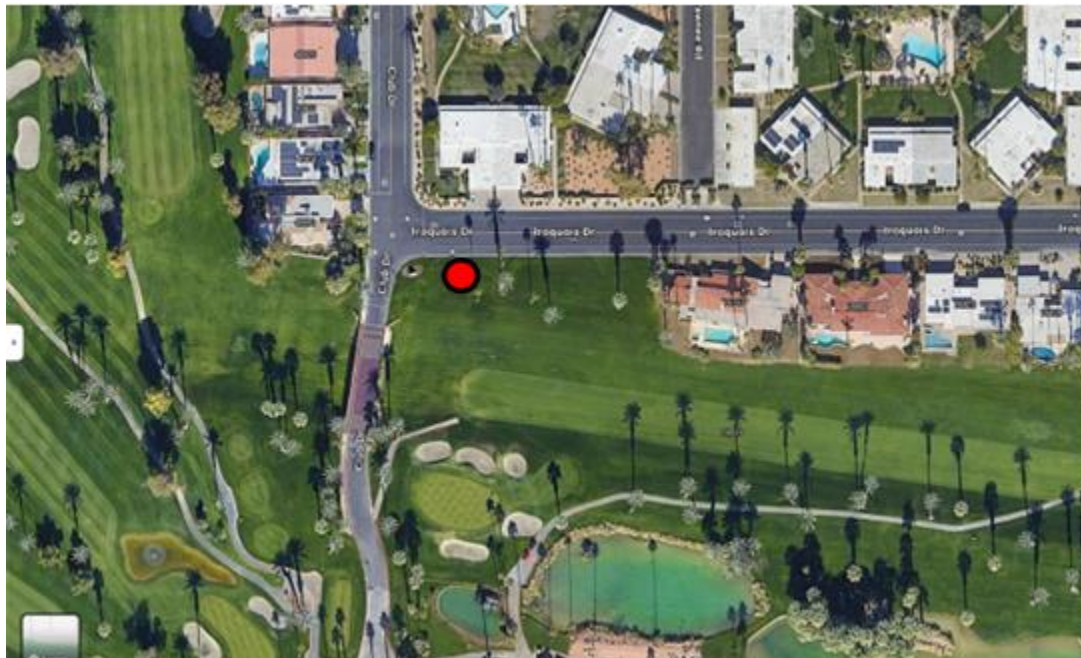
DATE: October 9, 2025
TO: Honorable FAMD Board Members
FROM: FAMD District Manager
SUBJECT: Street Sign

SUMMARY:

At the March 2025 Board meeting, the Board discussed the possibility of adding a 25 MPH speed limit sign. After further consideration, it was noted that a traffic study might be required to justify the installation.

Following the meeting, I spoke with the former Public Works Director, who confirmed that if there is existing signage along the street, the addition of a new sign would be warranted.

Currently, the street has multiple speed limit signs posted along the roadway, which supports the installation of a new sign at the proposed location—Iroquois Drive, east of Club Drive.



8. NEW BUSINESS

a. Speed Limit Signs

The Board reviewed a request from a homeowner in the IWCC to add a speed limit sign on Iroquois. The Board asked the Public Works Director to report back at this meeting with a recommendation. The Public Works Director reported that to follow city standards a traffic study should be done to warrant the addition signage. The Board will consider a study at a later date due to budget constraints.

ATTACHMENTS

None

FISCAL IMPACT:

Up to \$500.00

RECOMMENDATIONS

Give direction to the District Manager

STAFF REPORT

DATE: October 9, 2025
TO: Honorable FAMD Board Members
FROM: FAMD District Manager
SUBJECT: Supreme Pool – Fountain Pump & Cleaning

SUMMARY:

Supreme Pools have identified that a pump at the Club gate has malfunctioned and needs replacement. They have also suggested to drain, clean the tile and acid wash the fountains at Manitou and Club Drive.

ATTACHMENTS

Estimate

FISCAL IMPACT:

Operations – Building & Grounds Maintenance - Fountain Maintenance \$7,555.00

RECOMMENDATIONS

Approve the estimate and direct the District Manager to execute the proposal and schedule the work to be completed for an amount not to exceed \$7,555.00.

Supreme Pool Service & Repair
PO Box 12022
Palm Desert, CA 92255 US
+17604696924
info@supremepoolserviceandrepair.com



Estimate

ADDRESS
44950 El Dorado
Indian Wells
CA
92210

ESTIMATE # 1479
DATE 07/17/2025

DATE		DESCRIPTION	QTY	RATE	AMOUNT
	Fountain	Main entrance Fountain - New circulation pump installation. Parts and labor.	1	2,485.00	2,485.00
	Fountain	Main Entrance Fountain - Draining, tile cleaning and acid wash.	1	2,535.00	2,535.00
	Fountain	Second Fountain - Draining, tile cleaning and acid wash.	1	2,535.00	2,535.00
TOTAL					\$7,555.00

Accepted By

Accepted Date